

# LAND EAST OF KNOWLE LANE, CRANLEIGH

## Design and Access Statement









# 00 CONTENTS

## 01 INTRODUCTION

Summary  
Form of application  
Structure of document

Page 4

## 02 SITE ASSESSMENT

Location and context  
Description  
Land ownership  
Landscape  
Ecology  
Arboriculture  
Movement and access  
Drainage and Utilities  
Cultural Heritage  
Density and Character  
Opportunities and Constraints

Page 6

## 03 POLICY EVALUATION

National Planning Policy Framework  
National Design Guide  
National Model Design Code  
The Development Plan  
Other Design related policy

Page 30

## 04 EVALUATION AND RATIONALE

Design team  
Developing a masterplan and vision  
Development Objectives  
Masterplan Concepts

Page 38

## 05 ENGAGEMENT

Background  
Process  
Local Planning Authority  
Parish Council  
Community Engagement  
Responses to feedback

Page 44

## 06 DESIGN AND ACCESS

Form of Application  
Design and Access  
Land use and Amount  
Layout and Density  
Character  
Scale and Massing  
Appearance and materials  
Green Infrastructure  
Well Being  
Blue Infrastructure  
Ecology  
Access  
Sustainability  
Secured By Design  
Building for a Healthy Life

Page 46

## 07 SUMMARY AND CONCLUSIONS

Page 80

This document has been prepared by Richards Urban Design Ltd.

Note: Plans and drawings within this document are based on Ordnance Survey (c) Copyright 2022. All rights reserved 100020449

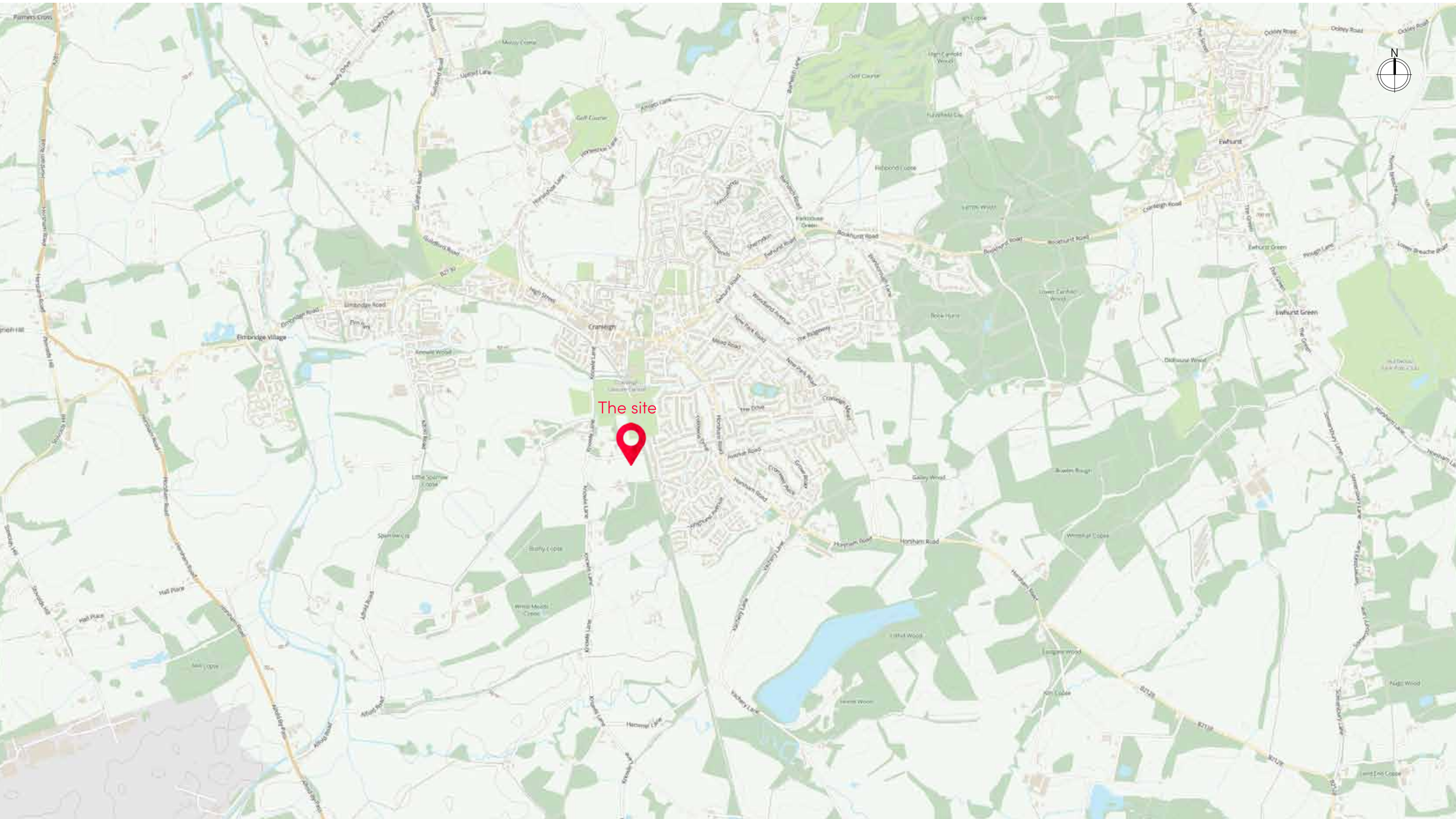


FIGURE 01. Plan showing the site in context



# 01 INTRODUCTION

**A design and access (DAS) statement is a short report accompanying and supporting a planning application. They provide a framework for applicants to explain how a proposed development is a suitable response to the site and its setting, and demonstrate that it can be adequately accessed by prospective users.**

Planning Portal - What is a Design and Access Statement? (2019)

## Summary

This design and access statement describes the Outline application by Gleeson Land Ltd for residential development of up to 162 dwellings including the creation of new vehicular access, public open space, landscape planting, surface water attenuation and associated infrastructure.

The site lies adjacent to the existing built up area of the village with existing development to the north, east and west. It is well located on Knowle Lane which provides direct access to Cranleigh High Street. There are good pedestrian and cycle links to facilities and services via the Downs link which runs along the eastern boundary of the site, and the development will deliver a logical, integrated and sustainable extension to the built up area of Cranleigh.

The proposals for the site respond to the constraints and opportunities for the site and this response has been delivered with a strong vision and will reinforce the character of Cranleigh and the wider surrey area.

The proposed amount, layout and mix of housing will deliver both market and affordable market housing, for which there is a known demand in the village and which will make a worthwhile contribution toward the ever growing social housing requirement of this area and the district. A mix of house types and sizes is proposed to provide for starter homes and families.

The design process has included consultation with a range of key stakeholders including the Local Planning Authority, Parish Council and local community and their ideas and feedback have helped shape the proposed development.

In summary, the delivery of this site for residential development presents the opportunity to make an efficient use of the land in this edge of settlement location.

## Form of application

The application is submitted by Gleeson Land. It is an outline planning application with all matters reserved except access with the following description:

*“Outline planning application (with all matters reserved except means of access) for up to 3 phases of residential development of up to 162 dwellings (including 30% affordable dwellings) including the creation of new vehicular access, pedestrian and cycle accesses, parking spaces, public open space, biodiversity enhancement, landscape planting, surface water attenuation, associated infrastructure and other associated works”*

The statement and planning application uses drawings, photographs and illustrations to show how the site might be developed in the future and should be read in conjunction with the other plans and documents which comprise the planning application.

## Structure of the document

This statement sets out an assessment of the site from a design, access and planning perspective. It illustrates the analysis of the site, the way the design has evolved before showing how the approach chosen for the application offers the best solution in terms of use, access and design.

Section 02 of the document provides a thorough assessment of the site and explores the context of the site and its surroundings including the relationship of the site to Cranleigh and the wider area.

Section 03 provides a summary of the relevant policy framework for the site. A separate supporting planning statement has been prepared and submitted as part of the planning application.

Section 04 provides an evaluation of the site. This includes the important constraints and opportunities for the site and the vision with key objectives and a design rationale which will help create its distinct character and appearance.

Section 05 explains the process of engagement which has taken place and how the feedback has been incorporated into the scheme. A separate Statement of Community Involvement has been submitted as part of the application.

Section 06 provides details of the design and access solutions being adopted, using illustrations and plans to show how the vision and objectives will be achieved in built form and landscape.

Section 07 is a summary of the proposals and concludes the document.





FIGURE 02. Aerial photograph of the site



## 02 SITE ASSESSMENT

**An understanding of the context, history and the cultural characteristics of a site, neighbourhood and region influences the location, siting and design of new developments. It means they are well grounded in their locality and more likely to be acceptable to existing communities. Creating a positive sense of place helps to foster a sense of belonging and contributes to well-being, inclusion and community cohesion.**

National Design Guide (2019) Para 38

### Location and context

Figure 01. shows the location of the site in its wider setting and Figure 02. is an aerial photograph of the existing site in context.

The site comprises an area of land which was formerly part of Coldharbour Farm and is located to the south of the main centre of Cranleigh adjoining the existing built-up area of the settlement.

By various accounts, Cranleigh is one of the largest villages in England and is situated in the rural eastern corner of the Borough of Waverley, in the southern part of Surrey. Cranleigh is a civil parish and located 10km east of Godalming, 15km south-east of Guildford, and 18km north-west of Horsham. It is surrounded by beautiful countryside of the north-west corner of the Weald nestled between the North and South Downs.

The area to the east and south of the village is predominantly farmland and includes the Baynards Park Manorial Estate. Countryside to the east and south east is designated as AGLV extending as far as Walliswood and Rudgwick. Land to the north of the village is washed over by the Green Belt encompassing the small rural settlement of Rowly.

The village is centred on Horsham Road and Guildford Road which are classified as B roads to the east of the A281; the main road linking Guildford and Horsham. Cranleigh railway station was closed in 1965 as part of the Beeching cuts. The old track bed now forms part of the Downs Link path (DLp) and is recognised as a trail of regional importance and a movement corridor. This popular footpath and bridleway runs through the village and links the North and South Downs Ways. A regular bus service runs to and from Guildford, some 9 miles away.

Cranleigh is a service centre for the surrounding smaller villages and settlements including Rowly, Ewhurst, Alfold, Shamley Green and Dunsfold. There are a good range of services and facilities in the village including a mixture of supermarkets, chain stores, in addition to a wide range of independent and locally owned retailers, cafes and restaurants. Light industrial estates on the outskirts of the village provide local employment opportunities including Astra House Business Centre, Littlemead Industrial Estate and Manfield Park.

There is a health centre in the centre of the village and a leisure centre which includes a swimming pool, squash courts and a gym. The village hospital continues to offer a limited range of outpatient services. Cranleigh has several valued green spaces which contribute to the visual appearance of the village and support thriving cricket, rugby, bowling and football clubs, in addition to equipped play parks and a skate park.

There are a range of community facilities, including the village hall, church rooms and Rowleys Community Centre, as well as the Arts Centre which is the focal point for cultural leisure activities in the village and offers a broad and varied programme of events running throughout the year. These facilities provide venues for several clubs, societies and voluntary organisations catering for all age groups.

The village has three primary schools and a mixed secondary school for ages 11-16. Cranleigh School, an independent prep and senior boarding school, is situated to the north of the High Street and Common and sits in approximately 280 acres of open countryside.



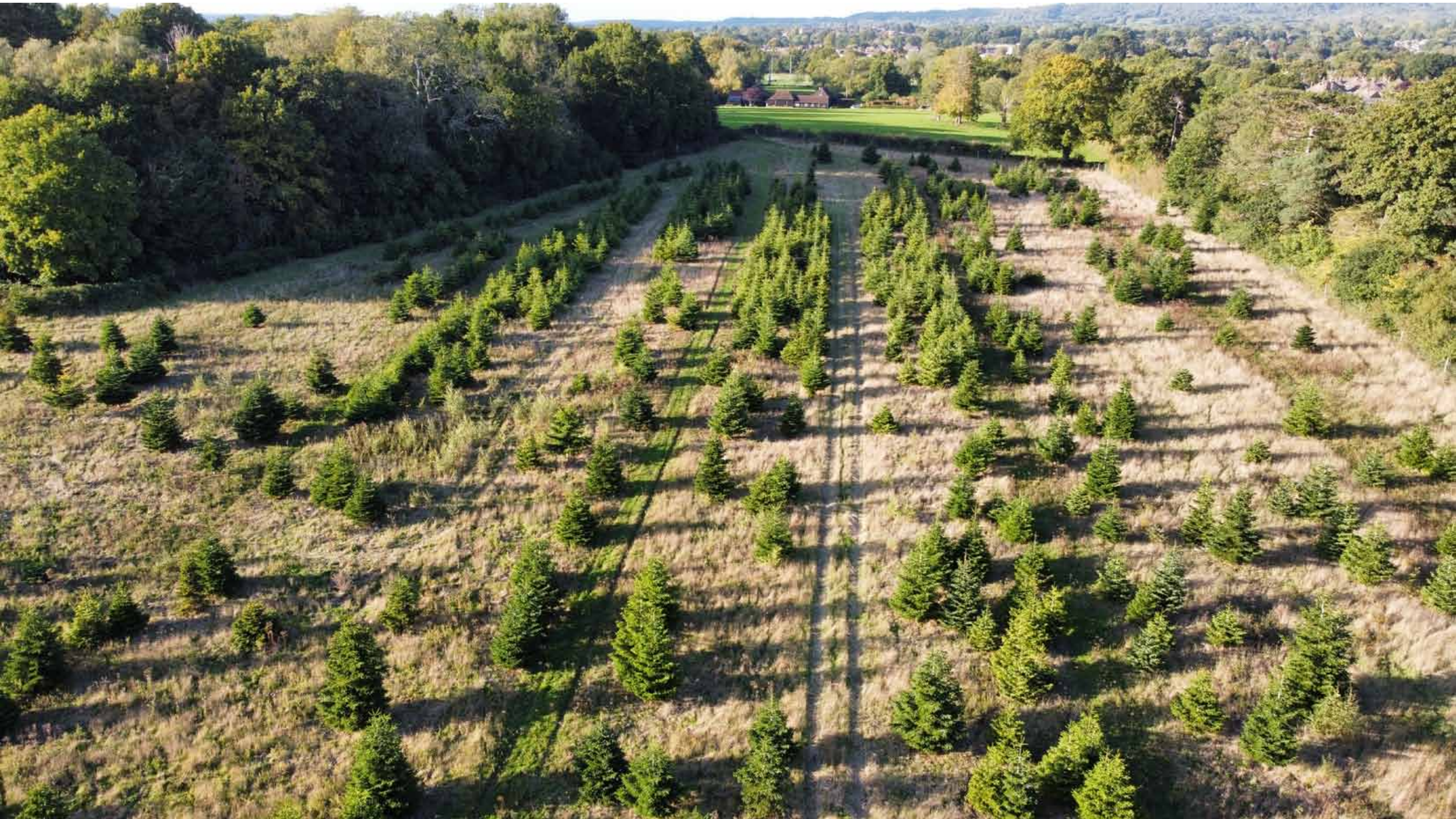
Cranleigh High Street, which is located close to the site





*Aerial view looking north showing the site in context with housing in Northdowns (right), Snoxhall Fields and Cranleigh FC with Cranleigh Village Centre and the High Street beyond*





*Aerial view of the southern part of the site formerly used as a Christmas tree plantation. It can be seen that belts of woodland contain the site visually.*





*View looking north from the rear of West Barn with Cranleigh FC in the background and the Downs Link to the east*



*View looking south from West Barn across the site with the existing access to Knowle Lane on the right hand side of the picture*



## Description

Figure 03. shows the extent of the site (edged red) which measures 11.7 hectares / 28.9 acres.

The site comprises three distinct character areas:

1. The land to the north of West Barn which is managed grassland with Snoxhall Fields to the east and Cranleigh FC to the north. This part of the site is contained by an existing hedgerow and there are glimpse views into the site from the Downs Link which runs along the eastern boundary.
2. The central part of the site is managed grassland and forms an open area between Coldharbour Farm and West Barn to the north and Stable Cottage and Coach House Cottage to the south. There is an existing vehicular access from Knowle Lane which serves the buildings to the north. There is an existing barn just south of the access road. On the eastern edge of the site there is a public right of way (footpath) which defines the edge of the grassed area. The footpath connects Downs Link to the east to Knowle Lane to the west through the group of buildings at Stable Cottage and heads diagonally across an open field to link to the road. The site is elevated from the Downs Link and Knowle Lane and other than from the public footpath, there are no views into the site from these routes.
3. The southern part of the site comprises a former Christmas tree planting which is no longer operational. It is the lowest part of the site and wraps around the existing group of buildings at Stable Cottage. Mature trees define the boundaries of this part of the site and other than from the public footpath, there are no views into the site from these routes.

The site has gentle contours with the northern part of the site generally level before rising to a local ridge around the line of the public right of way before falling again to the southern boundary. The land also rises to the west with Knowle Lane in cutting along some of the western boundary.

Coldharbour Farmhouse and West Barn are both Grade II Listed properties close the northern boundary of the site.



Housing development to the east of the site



Access into the central part of the site from Knowle Lane with an existing agricultural building



Snoxhall Fields to the east of the site viewed from Downs Link



West Barn in the centre of the site



Land ownership

The land (edged red on Figure 03.) is in the control of Gleeson Land who are the applicants for the site.

 Application site boundary

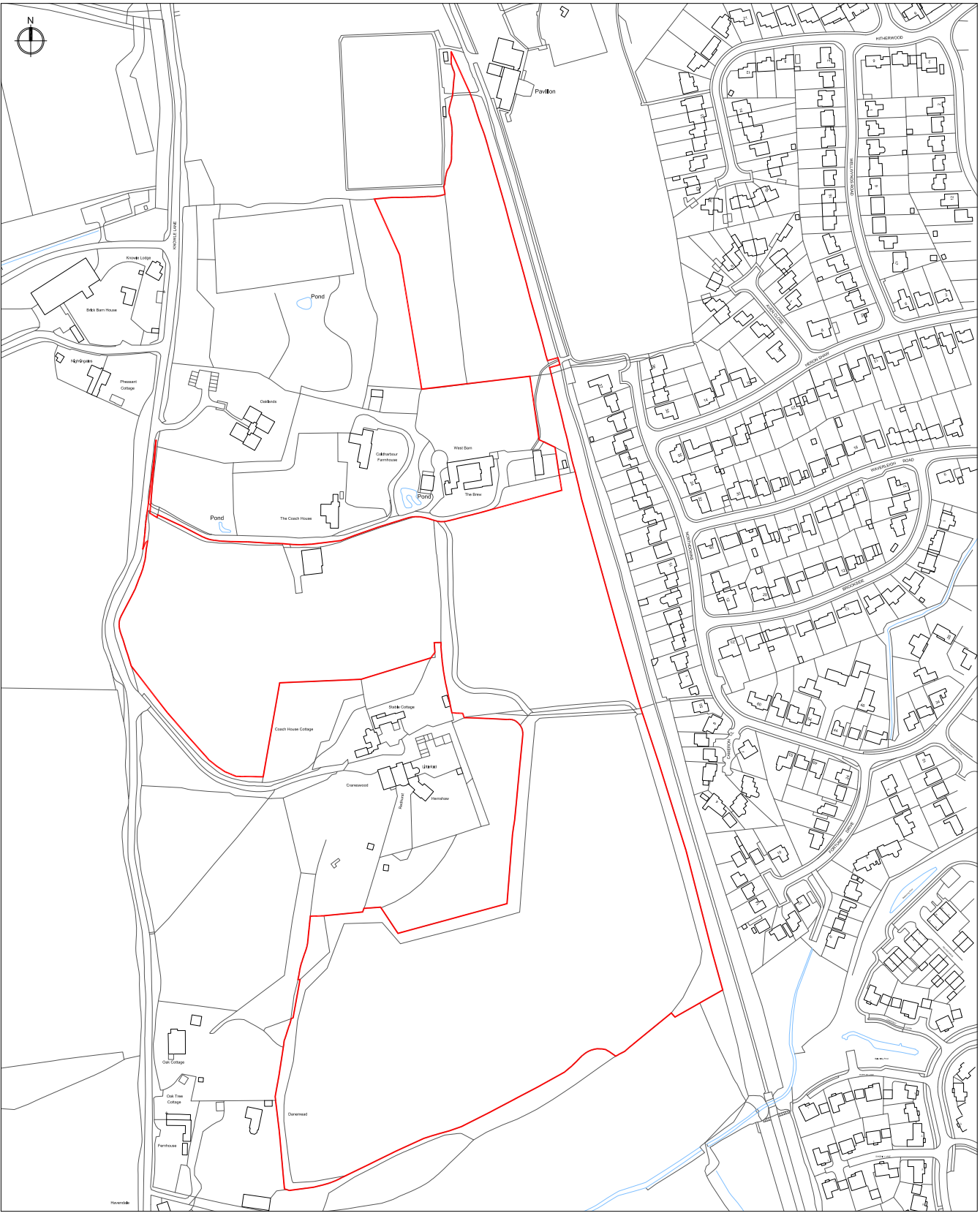


FIGURE 03. Site Location Plan (Application drawing ref 1321.01)



## Landscape

A review of landscape and visual matters relating to development of the site has been undertaken, including assessment of existing landscape character and visibility of the site, and its ability to accommodate development. A detailed Landscape and Visual Impact Assessment has been prepared by DWLC and submitted as part of the planning application.

### Landscape Context

Figure 04 shows the landscape context of the site and surrounding area which reflects its near edge of settlement location and is predominantly open rural countryside to the west and south whilst to the north are urban fringe uses beyond which is the centre of Cranleigh and to the east is the south eastern built up area of Cranleigh extending southwards along Horsham Road, B2128.

The site occupies a small part of the open low lying undulating countryside between Cranleigh and Dunsfold Airfield which comprises a mosaic of generally enclosed small to medium sized irregular shaped fields either in pasture or arable use and scattered settlement of farmsteads and hamlets with larger, mostly arable fields, and areas of woodland, situated to the west of Knowle Lane, extending towards the Wey and Arun Canal and Dunsfold Airfield.

To the north of the site is an extensive area of open sports pitches / playing fields forming part of Snoxhall Fields with the changing pavilion, car park and large children's play area (NEAP) to the east of the DLP. To the north of the playing field is a small triangular area (known locally as the Paddock) whilst to the north east is Cranleigh Leisure Centre and number of other community facilities (Parish Hall, Parish Council office, Health Centre and Co-op store around a large car park) beyond which is Cranleigh High Street / B2128.

To the south of the site are areas of open undulating countryside extending towards the villages of Alfold Crossways, about 3 kilometres to the south west, and Rudgwick about 5.2 kilometres to the south east of the site.

To the east of the site and DLP are the south eastern parts of Cranleigh and housing areas served off Heron Shaw, Northdowns, Waverleigh Road, Brookside, Cameron Close, Fortune Drive, and Nightingales with areas of more recent Crest Nicholson housing development (Application Ref: WA/2016/0417 and WA/2017/1396). This area of development extends the built up area of Cranleigh some distance to the south of the southern boundary of the site.

To the north west of the site is Beryl Harvey Conservation Field including allotments whilst to the west of Knowle Lane, north west of the Site, is the Bruce McKenzie Memorial Field, consisting of a football pitch and further areas of open recreational land cross by informal footpaths, with Knowle Park Nursing Home and South House, beyond which, to the west, are areas of open countryside. To the north and west of the Bruce McKenzie Memorial Field is the West Cranleigh Nurseries / Knowle Park, A2Dominion Developments Ltd housing development (Application ref: WA/2016/2207) with the Berkeley Homes 'The Maples' site (Application ref: WA/2014/0912) to the north extending up to the DLP and employment area on the B2128.

### Designations

The site does not lie within a nationally or locally designated landscape, such as Area of Outstanding Natural Beauty, or Special Landscape Area (SLA) or Area of Great Landscape Value (AGLV) and therefore the site cannot be considered forming a 'designated valued' landscape of national / regional / district importance under paragraph 174 (a) of the NPPF July 2021.

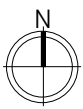
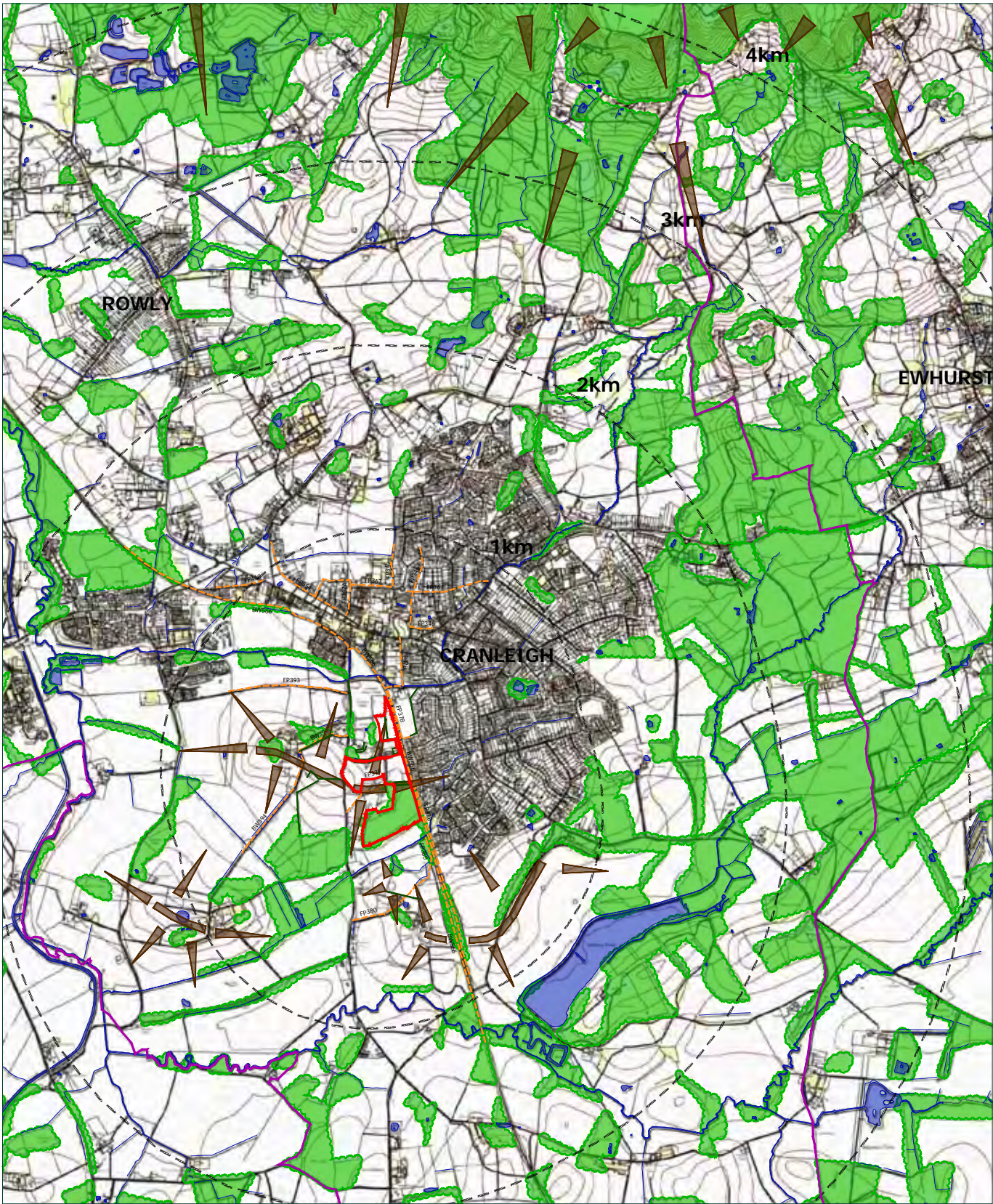
### Character and Capacity

The Council have published, as part of the evidence base of the Core Strategy, a number of technical reports including: a 'Landscape Study – Part 1: Farnham & Cranleigh' dated August 2014, a 'Local Landscape Designation Review' also dated August 2014, and a 'Land Availability Assessment', recently updated in 2020.

In the 2014, AMEC prepared a 'Landscape Study', on behalf of the Council and they were also commissioned to undertake a landscape sensitivity and capacity study which was used to 'inform WBC about the potential scale and location of future residential development and related infrastructure, to meet future housing needs of the Borough'.

The study refers to landscape sensitivity (which is different to capacity) and describes 'Moderate Sensitivity' as the area may be able to accommodate the development change, with some degradation of the character, but mitigation options would be required. The site lies within an area which is considered to have 'Moderate' sensitivity and 'Medium' landscape value, it is therefore considered that the site is capable of accommodating some development.















-  Application site boundary
-  Existing woodland blocks / trees
-  Existing hedgerows
-  Ridgelines
-  Slopes
-  Contours (@5m intervals)
-  Watercourses / ditches / ponds
-  Public Rights of Way
-  Distance bands (1km intervals)
-  Surrey Hills AONB & Aglv Designation Area

FIGURE 04. Landscape context plan (DWLC)



## Topography

The topography of the area comprises low lying gently undulating land between 50 metres AOD to 75 metres AOD with Knowle Park to the west lying on a slight 'knoll' of higher ground at about 75 metres AOD whilst to the north of Cranleigh, the land gradually rises to a Reynards Hill, on the greensand ridge at about 245 metres AOD, and the Surrey Hills Area of Outstanding Natural Beauty (AONB). To the west, the low lying character of the land falls towards the open shallow floodplain of the River Wey Valley before rising gently to Hascombe Hill at about 195 metres AOD also within the Surrey Hills AONB.

## Vegetation

Tree cover within the landscape surrounding the Site is good consisting of predominantly of hedgerows, hedgerow trees, belts of trees (or shaws) adjoining drainage ditches / watercourses, along the DLP and Knowle Lane, small groups of trees / wooded copses within and around Beryl Harvey field to the north west, adjoining Coldharbour Farm, West Barn and the enclave of development (Coach House Cottage, Stable Cottage, Craneswood, Redhurst, Hernshaw and Littlefold) to the west and Snoxhall Farm to the south with larger areas of woodland to the south west, west of Knowle Lane, (Bushy Copse, White Meads Copse and Sparrow Copse) as well as areas of parkland and woodland at Vachery House and ponds to the south east of the site.

The strong enclosure provided by these hedgerow trees, belts of trees along Knowle Lane and DLP and extent of vegetation within the surrounding area together gently undulating topography of the area provides containment and screening within the landscape curtailing, restricting and controlling views towards the site.

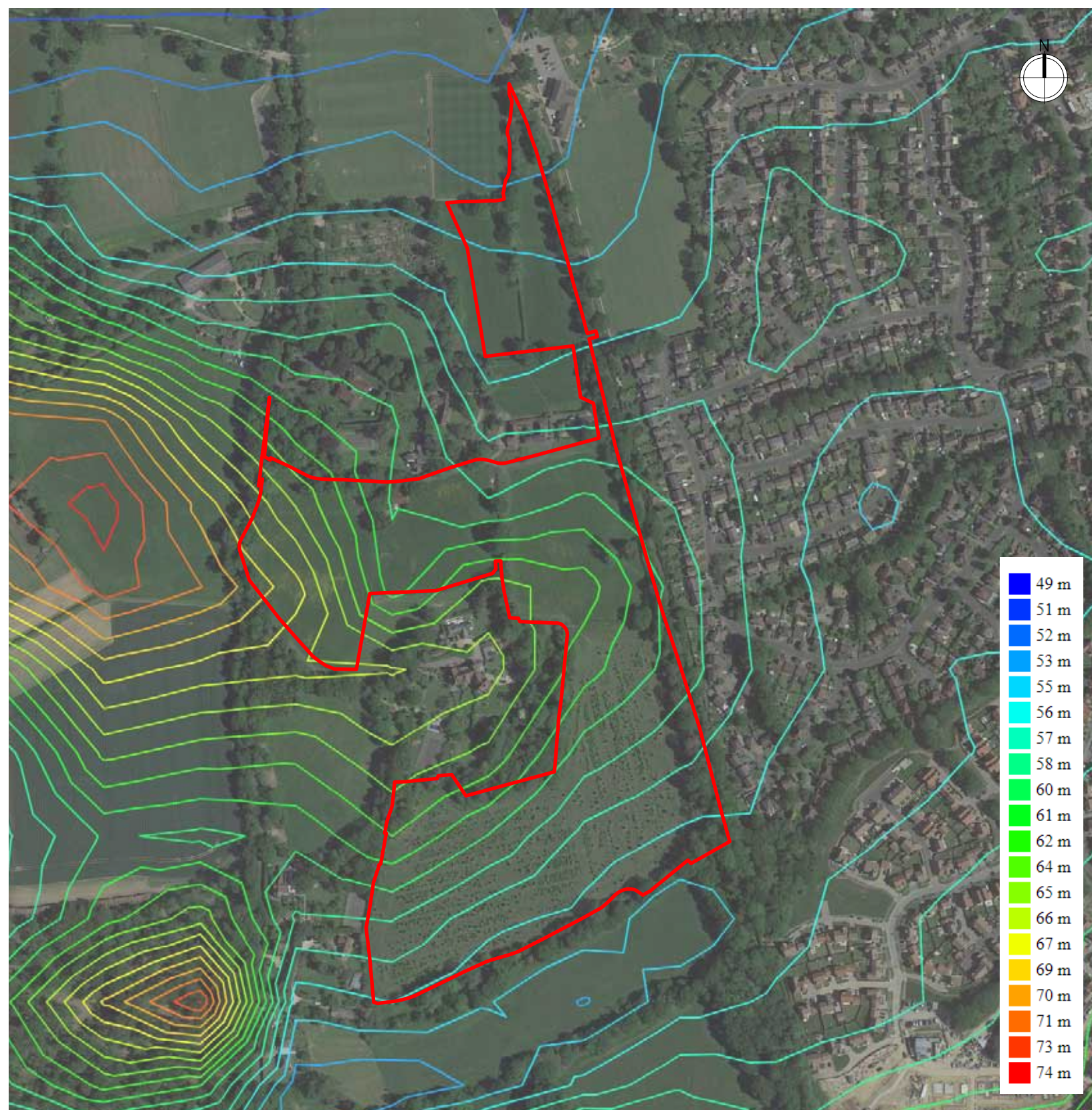


FIGURE 05. Plan showing the topography of the site and surrounding area



Ecology

The site was surveyed in May 2021 based on standard extended Phase 1 methodology. In addition, a general appraisal of faunal species was undertaken to record the potential presence of any protected, rare or notable species. Subsequent specialist surveys have been undertaken at the site including those for reptiles, Great Crested Newt eDNA, Dormouse, bats and Badger.

Ecological Designations

The site itself is not subject to any statutory or non-statutory ecological designations. The nearest statutory designation is Sayers Croft Local Nature Reserve located approximately 2.8km north-east of the site. The nearest non-statutory designation is an area of Ancient & Semi-Natural Woodland (SRY 4030) located approximately 350m west of the site. Although not identified as a non-statutory site, Beryl Harvey Field approximately 25m from the western boundary of the northern part of the site, is managed as a wildlife area by Cranleigh and District Conservation Volunteers. A number of European Designations are present within the wider area surrounding the site, although none occur within 10km of the site boundary. All of the ecological designations in the surrounding area are physically separated from the site and are therefore unlikely to be adversely affected by the proposals.

Habitats

The site is approximately 12.7ha in size and is dominated by grassland fields. Field boundaries predominantly comprise established hedgerows and tree belts. Five ponds are present at or outside the site in proximity to the site boundary. The majority of trees and hedgerows within the site will be retained under the proposals and protected during construction. Small sections of hedgerows will be removed to facilitate access. This will be compensated for by new, native species-rich hedgerow planting throughout the site. The remaining habitats within the site are not considered to form important ecological features and their loss to the proposals is of negligible significance.



FIGURE 06. Plan showing ecological issues at the site (Aspect Ecology)



## Protected Species

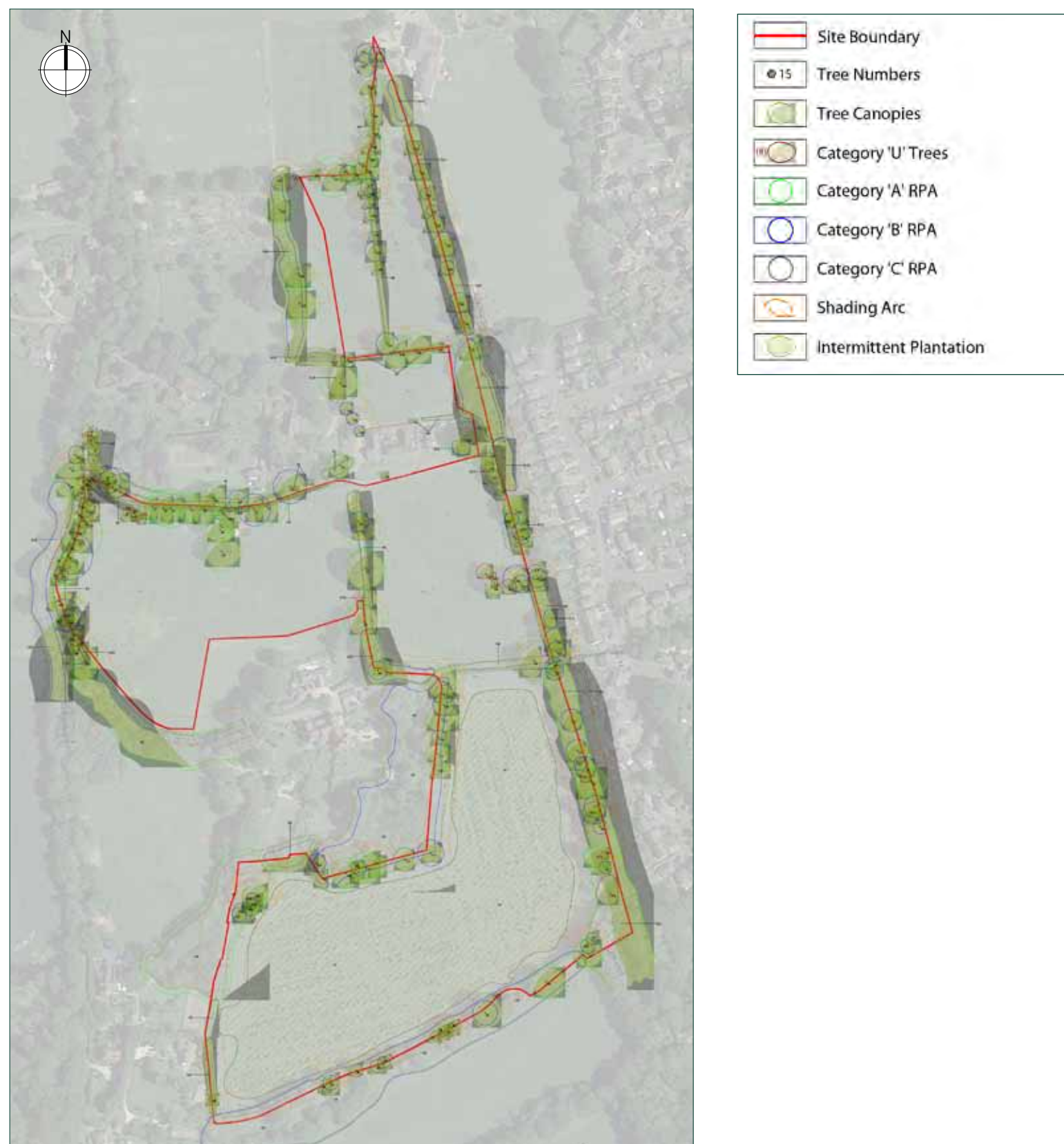
The site generally offers limited opportunities for protected species. However, it is likely that birds nest within suitable habitat at the site and could therefore potentially be adversely affected by the proposals. Appropriate mitigation measures, centred on the careful timing of works, will therefore be implemented to safeguard nesting birds during relevant site clearance works. Long-term nesting opportunities will be maintained, if not enhanced, under the proposals through new landscape planting and provision of nest boxes.

## Arboriculture

The site was surveyed by Aspect in Summer 2022 following the guidance contained within BS5837:2012. Figure 07 shows the tree survey for the site.

The Waverley Borough Council interactive map has been checked and none of the trees within or around the site are protected by Tree Preservation Orders (TPO's). The nearest TPOs to the site include TPO – 21/11 and covers trees within the grounds of Oaklands to the west of the site. In addition, there are a number of trees in the rear gardens of houses served off Heron Shaw and Waverleigh Road covered by TPO WA267/a and trees within the housing estates served off Nightingales and Longhurst Avenue covered by number TPOs (25/99, 26/99, P39/5/3) covering individual trees, groups of trees and woodland areas.

The proposals ensure that the majority of trees are to be retained within the site with the removal of the existing plantation and only a small number of other trees. The submitted Landscape Strategy Plan includes consideration for the provision of replacement trees in response to these losses.



**FIGURE 07.** Plan showing existing trees and root protection areas (Aspect Arboriculture)





*The existing access to Coldharbour Farm from Knowle Lane*



*The Downs Link and public footpath through Snoxhall Fields at the northern end of the site*

## Movement and access

### Vehicular access

There is an existing vehicular access into the site which originally was then entrance to Coldharbour Farm and now serves a small number of dwellings. This access is not considered suitable for a larger development and as such a new vehicular access will be required.

### Public transport

The nearest bus stops to the site are located approximately 650 metres east of the site on Horsham Road. Both stops benefit from a bus stop flag with timetable information. These stops are served by route 63, as well as services to St Peter's School and Godalming College. The 63 service runs between Horsham and Guildford, with journey time approximately 40 minutes to both. Services run hourly in each direction from Monday to Saturday.

There are no rail services within Cranleigh itself, however, if using the 63 bus, rail services can be picked up in both Guildford and Horsham, with regular trains to destinations such as London, Portsmouth, Woking, Gatwick Airport, Peterborough and Southampton.

### Pedestrian and cycle links

Pedestrian access to the site is currently taken from east of the site from the Downs Link which is a Public Right of Way (PRoW). The network of PRoWs provide access to the existing urban area and town centre and are described in more detail below.



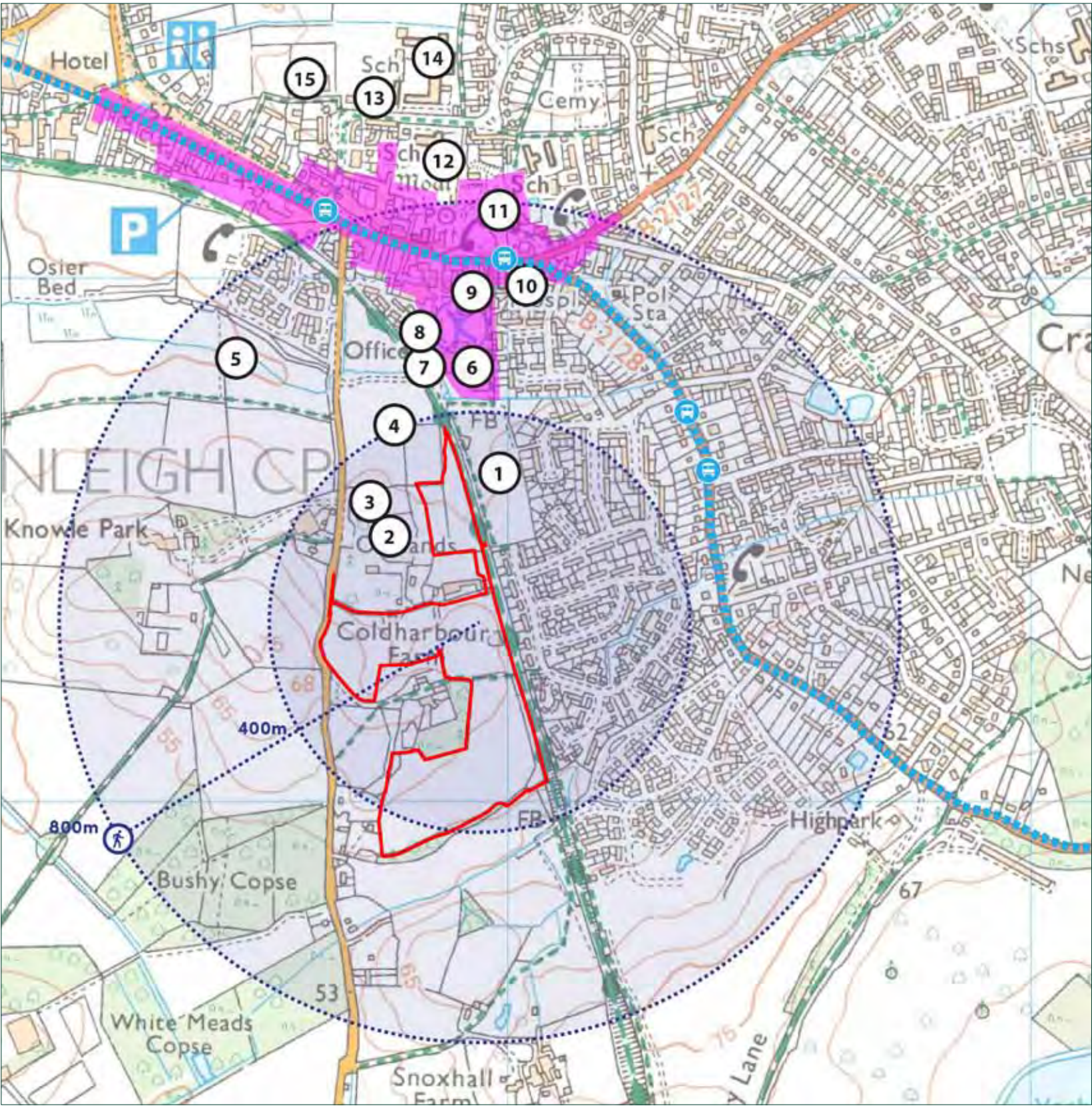





FIGURE 08. Plan showing accessibility of the site to existing facilities and services

-  **BUS ROUTE / STOP NEAR SITE**
-  **EXISTING PUBLIC RIGHT OF WAY**
-  **EXISTING BRIDLEWAY (Downs Link)**
-  **TOWN CENTRE AREA**
-  **FACILITIES AND SERVICES**
  - 1. Snochall Fields (playing fields and play area)
  - 2. Beryl Harvey Field
  - 3. Allotments
  - 4. Cranleigh FC and playing fields
  - 5. Knowle Park (Public Open Space)
  - 6. Cranleigh Leisure Centre (and market area)
  - 7. Cranleigh Bandroom
  - 8. Cranleigh PC Offices
  - 9. Cranleigh Medical Practice
  - 10. Cranleigh Village Community Hospital
  - 11. St Nicolas Church
  - 12. Cranleigh C of E Primary School
  - 13. Christopher Robin Day Nursery
  - 14. Glebelans School
  - 15. Cranleigh Village Sports and Social Club



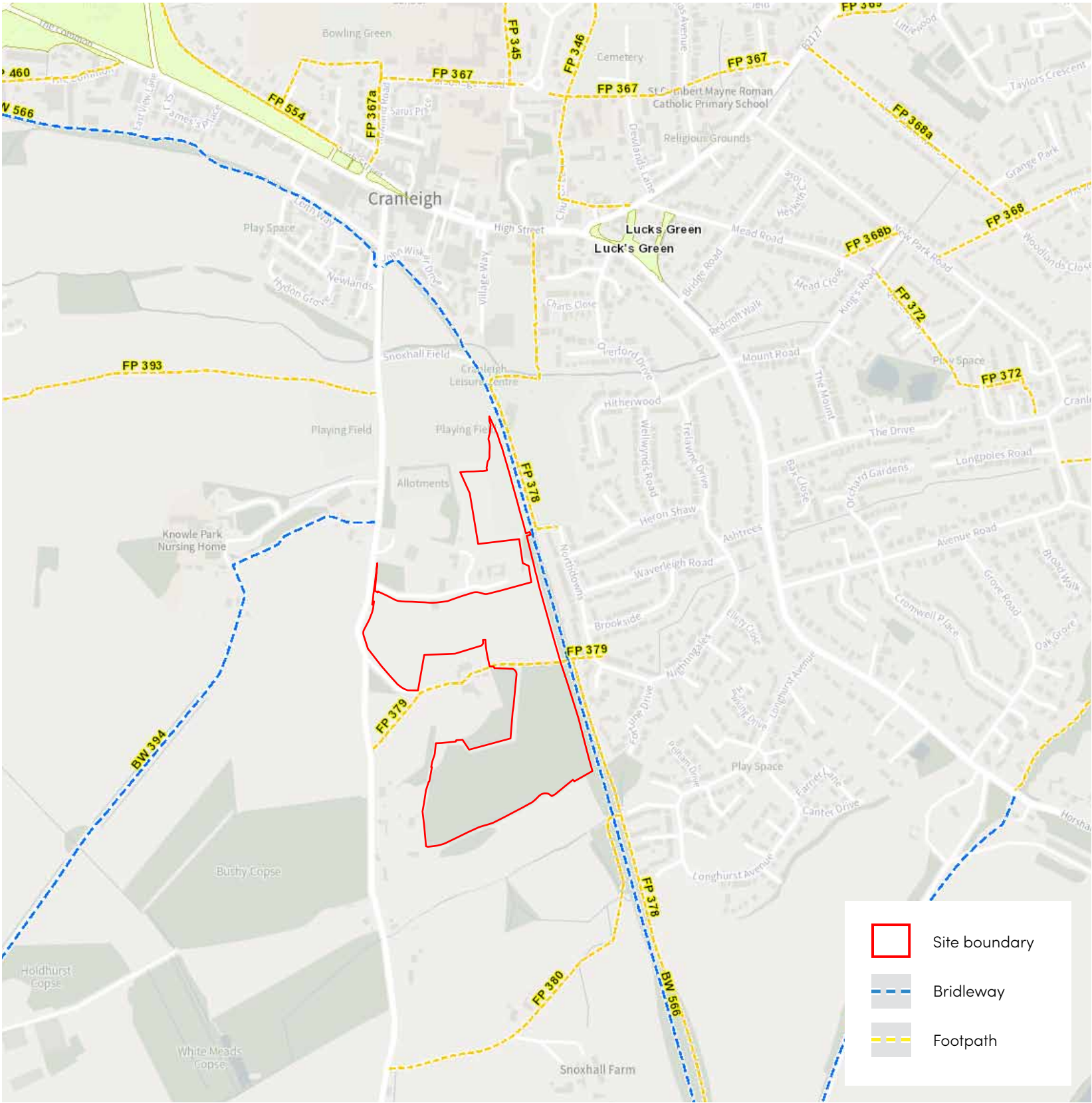


FIGURE 09. Plan showing the existing Public Rights of Way in the local area

Public Rights of Way

There are a number of public rights of way which are relevant to the site and it's connections for pedestrians and cyclists to the wider area as shown on Figure 09. and described below

- BW 566 is known as the Downs Link and is a long-distance route for walkers, horse riders and cyclists which follows two disused railway lines. It crosses the Surrey Hills, the Low Weald, the South Downs and the Coastal Plain. Importantly for the site it provides a good link towards the High Street and a number of key community facilities via Village Way
- FP379 which connects Knowle Lane to the west to Northdowns to the east, passing through the centre of the site and crossing the Downs Link
- FP378 which runs from the end of Northdowns, along the western boundary of Snoxall Fields and along the eastern edge of the Leisure Centre passing the health centre, library and Cranleigh Village Hospital
- FP378 which runs parallel to the Downs Link and connects to the residential areas at Longhurst Avenue southeast of the site



Signpost on Downs Link just to the north of the site



Drainage and utilities

Flood risk

The site does not lie within an area which is at risk from flooding from sea or rivers as shown on Figure 09.

A full Flood Risk Assessment has been carried out to support the planning application showing how any flood risk will be mitigated.

Utilities

A full utilities appraisal has been undertaken to determine the connection points and capacities to provide the new development with gas, fibre, electric and water.

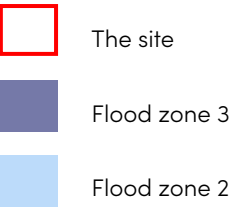


FIGURE 10. Plan showing flood risk associated with the site (Source: <https://flood-map-for-planning.service.gov.uk/>)



Cultural heritage

Heritage Assets

There are no designated heritage assets within the site. There are 24 listed buildings and structures located within 1 km of the Site. The bulk of these listed buildings are Grade II listed, excepting the Grade II\* listed Church of St Nicolas in the centre of Cranleigh. The Site is also within 1km of the Cranleigh Conservation Area.



Grade II Listed Barns close to the centre of the site



FIGURE 11. Plan showing the site in relation to Listed Buildings in the local area



## Archaeology

A Desk Based Archeological Assessment was carried out by RPS Consulting. The report found that the likely significance of any archaeological remains is low for all periods.

## Patterns of growth

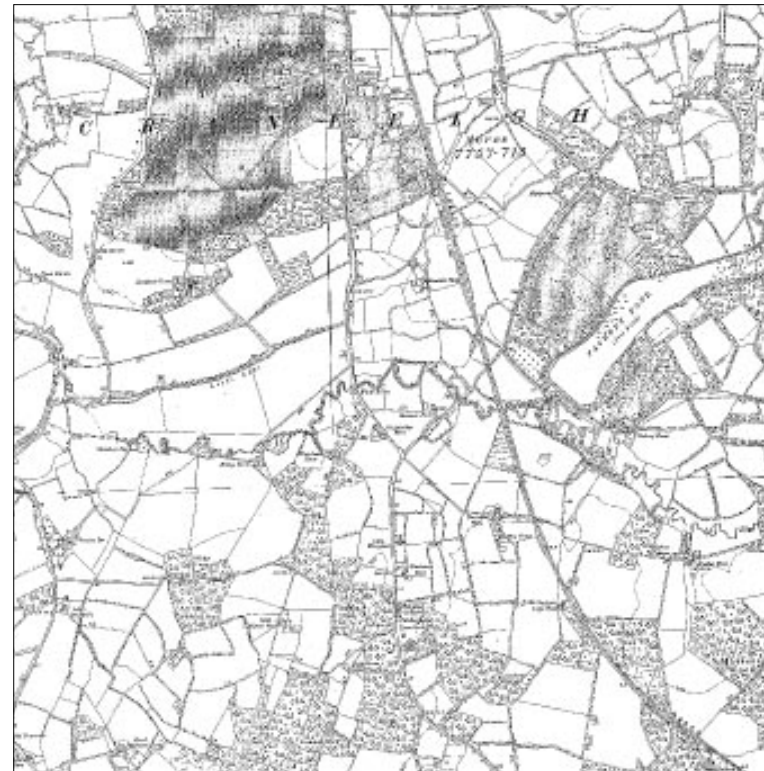
The historic maps (right) show the patterns of growth for the village.

It can be seen that the original village was focused on the High Street (Guidford Road and Horsham Road). Cranleigh Station was also present until 1965 when it was closed. The route of the former railway now provides the “Downs Link”.

The late 20c saw significant expansion of the village to provide housing with a focus on the west in particular the areas between Horsham Road and the Downs Link and the area between Horsham Road and B2127 (Bookhurst Road)

In 2017 Berkeley Homes gained outline consent, on appeal, for 425 dwellings on the land south of the high street between Alfold Road and Knowle Lane. The development is known as Leighwood Fields and is divided into 4 main phases and Phase 1 (55 units) known as Knowle Park, gains access from Knowle Lane and has been constructed and occupied.

In addition, the urban area has extended further southeast on the eastern side of the Downs Link with the development of circa 149 dwellings at Longhurst Park by Crest Nicholson.



Ordnance Survey Map circa 1895



Ordnance Survey Map circa 1919-1920



Ordnance Survey Map circa 1940-1945



Ordnance Survey Map circa 2014



## Density and character

The density and character of the surrounding area is defined by a number of factors including:

- The relationship of the site to built up area and wider countryside
- The character of development in Cranleigh Village including the historic and more recent development areas
- The technical assessments which have been carried out to inform the proposed masterplan including landscape, heritage, flooding, access, ecology and arboriculture
- The adopted and emerging planning policy requirements

Three specific residential character areas have been reviewed to understand the past and emerging character of development in this part of the village as shown on Figure 12.



FIGURE 12. Plan showing the different character areas in proximity of the site





## NORTHDOWNS

### Character

Housing in Northdowns dates from the later 20c and is characterised by open front gardens, on plot car parking and a mix of detached and semi-detached properties. Housing is generally 2 storeys in height.

**Density:** 25-30 dph



## LONGHURST PARK

### Character

Housing in Longhurst Park was built in the past 5 years and includes a mix of housing types including detached, semi-detached and small groups of terraces. Houses are a mix of 2 and 2.5 storeys in height. The development is served by a primary residential access road, Longhurst Avenue, with a series of drives serving the development areas.

**Density:** 30-35 dph



## KNOWLE PARK

### Character

Housing in Knowle Park comprises mainly larger dwellings with small private garden areas. Dwellings are served by a single main access road into the site with private drives serving dwellings which front onto the existing boundaries of the site.

**Density:** 30-35 dph







# Local distinctiveness

The scale and feel of Cranleigh as a small historic market town is one of its most attractive features. The varied character of the town often adjacent to and juxtaposed with each other and reached via lanes and alleys is an integral part of the story of the progressive development and expansion of the town.

The rich layering of buildings from different periods side by side is an integral part of the special architectural and historical character of Cranleigh.

The village is generally characterised by domestic scale buildings, primarily of two storeys. There are some limited number of single, two and a half and three storey buildings, and these still sit comfortably within the overall townscape.

## Layout of built form

Cranleigh features streets of variable widths, with irregular footways and homes aligned to the road edge creating key pinch points in the streetscape. Modern development around the edges of the town is more regular with more formal road structures, increased carriageway widths, generous front garden depth and landscaped verges.

## Plot Structure

Older building forms are mainly shallow and long fronted, often in pairs or short terraced groups. Most are set to face the street, whilst some are turned at right angles with gables on the street edge. Occasional stand-alone properties sit within well defined plots. More recent housing is deeper in plan, with semi-detached arrangements becoming more prevalent.



- |    |    |
|----|----|
| 01 | 02 |
| 03 | 04 |
| 05 | 06 |
- 01. Two and a half storey buildings in the central part of the site
  - 02. Pale rendered former gatehouse to Knowle Park to the west of the site
  - 03. Attractive pair of semi detached properties with mix of brick and tile hanging
  - 04. Terrace of housing with short front gardens on Knowle Lane
  - 05. Recent housing in Knowle Park
  - 06. Former housing in centre of the village



Materials

There are a number of materials used throughout the village, as the majority of development has followed a traditional form, these materials include:

- Reddish brown brick of the Wealden Clay
- Tile hanging typical of Surrey vernacular – some decorative
- Plain clay roof tiles
- Slate roofs on shallower pitches
- Off white render

Details

Details on buildings generally follow the traditional appearance of the Surrey vernacular. Key details include:

- Chimneys, both simple and decorative
- Chimney pots
- Decorative ridge tiles
- Exposed eave details
- Strong boundary treatments (including walls, railings and mature hedges)
- Timber framed vernacular traditional to Surrey
- Thick stone walls with rounded cappings

07	08	07. Attractive decorative bargeboards and fishscale clay tile hanging
09	10	08. Short terrace of properties in the centre of the village
11	12	09. Houses to the north of Guildford Road served from private drives
		10. Properties in the Common set back into their plots
		11. Long continuous terraces at the western end of the village
		12. Cranleigh Village Hospital





# Opportunities and constraints

In summary, there are a number of opportunities and constraints which need to be taken into account when developing a masterplan for the site as shown on Figure 13.

## Landscape

- The need to retain and protect existing landscape assets within the site and on it's boundaries including existing hedgerows and trees.
- Protect the character of Knowle Lane by retaining where possible the existing trees and incorporating new landscape planting to filter views into the site
- The opportunity to reinforce the character of the landscape by enhancing the existing landscape structure and providing new planting within the site and on its edges.
- Protecting the amenity of the residential properties
- Protect and maintain the setting of the heritage assets on the sites boundaries with a combination of landscape and physical buffers to any new development
- Consider the character and setting of the public right of way which crosses the site

## Ecology

- Retaining the ecological assets of the site and providing buffers, where appropriate
- Providing potential new areas for habitat creation as part of the landscape and drainage strategy including areas for Biodiversity Net Gain (BNG)
- Where possible extending and creating ecological / green links through the site
- Combining the green and blue infrastructure as part of the ecological strategy for the site to maximise potential gains for biodiversity and habitat creation

## Access and movement

- Provide a new vehicular access from Knowle Lane on the western edge of the site which minimises the impact on trees and the character of the road
- Connect to the existing public rights of way in the vicinity of the site to provide high quality routes to the centre of the village to access existing facilities and services
- Create a hierarchy of residential streets which help define the legibility and character of the new development and make it easy and safe to move around
- Allow sufficient room within the development for refuse and service vehicles
- Ensure that there is sufficient car and cycle parking including visitor parking for the development

## Drainage, hydrology and infrastructure

- Ensure that development areas do not have a negative impact on existing watercourses and areas of surface water drainage
- Ensure there is appropriate provision of Sustainable Urban Drainage Systems with capacity for the new development
- Utilise other sustainable drainage features including rainwater harvesting, permeable surfaces and water efficient fixtures and fittings
- Ensure that the drainage, ecology and landscape strategies work together across the site

## Character, layout and density

- Retain the character and setting of the heritage assets close to the site including Coldharbour Farm and the former agricultural barns
- Create a layout of housing and public open space which reinforces the character of Cranleigh and the surrounding area, drawing from the more historic areas in addition to the immediate context of the site
- Ensure that the amenity of existing housing is protected with sufficient spaces between buildings, appropriate boundary treatments and no overlooking or overbearing
- Provide a variety of housing types and tenures to meet the local housing need and provide for a balanced community
- Establish landscaped areas of amenity space and informal public open space on the edges of the site which are overlooked by housing including the potential for a natural area of play for children
- Ensure development is of an appropriate scale, form and density to retain the character of the town and surrounding landscape





-  Site boundary
-  Existing contours
-  Existing mature planting on boundaries of the site to be retained and protected
-  Existing trees and their Root Protection Areas
-  Listed buildings
-  The Downs Link (Bridleway)
-  Existing Public Right of Way (Footpath)
-  Proposed new structural planting to protect the amenity of existing residential properties and the setting of the heritage assets
-  Proposed vehicular access to the site
-  Proposed cycle / pedestrian link
-  Proposed areas for housing development
-  Proposed areas of public open space / biodiversity enhancement
-  Potential location of SuDS features to allow for natural drainage

FIGURE 13. Opportunities and constraints plan





Ministry of Housing,  
Communities &  
Local Government

# National Planning Policy Framework



## 03 POLICY EVALUATION

***“The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.”***

National Planning Policy Framework (2021) Para 126

A summary evaluation of the relevant planning policy is set out in this section of the document. A separate planning statement has been submitted as part of the planning application which sets out in more detail the current planning policy framework and other material considerations which should be taken into account when considering the proposals

The relevant planning policy framework for this application includes National Guidance including the National Planning Policy Framework (2019) and the National Design Guide (2019) and the policies of the adopted Development Plan.

The site is within the administrative area of Waverley District Council and Cranleigh Parish Council and as such, the Development Plan comprises:

- Waverley Borough Local Plan Part 1
- Waverley Borough Local Plan (Adopted 2002)
- Emerging Waverley Borough Local Plan Part 2
- Any relevant supplementary planning guidance

### National Planning Policy Framework (July 2021)

The National Planning Policy Framework (NPPF) was published in February 2019 and updated in July 2021. The NPPF places sustainable development at the heart of all decision taking and is a consistent message throughout the entire document be that in relation to economic and housing growth, housing development, or the environment. The NPPF sets out the Government's approach for delivering the homes, infrastructure and places that are needed whilst both protecting and enhancing the natural and historic environment.

Section 12, Paragraphs 126-136 of the NPPF sets out the Government's objective to provide "Well Designed Places". Para 126 states;

*“The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.”*

(Paragraph 126)





National Design Guide (January 2021)



## National Design Guide (January 2021)

The National Design Guide was published in 2021 and sets out the characteristics of well-designed places and demonstrates what good design means in practice.

It forms part of the government’s collection of planning practice guidance and should be read alongside the separate planning practice guidance on design process and tools.

Para 3 of the guide sets out the role of the document:

*“The National Planning Policy Framework makes clear that creating high quality buildings and places is fundamental to what the planning and development process should achieve. This design guide, the National Design Guide, illustrates how well-designed places that are beautiful, enduring and successful can be achieved in practice. It forms part of the Government’s collection of planning practice guidance and should be read alongside the separate planning practice guidance on design process and tools.”*

### Characteristics

The design guide identifies ten characteristics which aim to help nurture and sustain a sense of Community. They work to positively address environmental issues affecting Climate. They all contribute towards the cross-cutting themes for good design set out in the National Planning Policy Framework.

The ten characteristics set out are:

Context	enhances the surroundings.
Identity	attractive and distinctive.
Built form	a coherent pattern of development.
Movement	accessible and easy to move around.
Nature	enhanced and optimised.
Public spaces	safe, social and inclusive.
Uses	mixed and integrated.
Homes and buildings	functional, healthy and sustainable.
Resources	efficient and resilient.
Lifespan	made to last.

These characteristics have been embodied in the process of design for the site. Whilst the application is in outline form only the design has, where possible, provided a vision and design responses which can be carried through to assist in future design decisions.

### Components for good design

The guide sets out the components for good design which include:

- the context for places and buildings;
- hard and soft landscape;
- technical infrastructure – transport, utilities, services such as drainage; and
- social infrastructure – social, commercial, leisure uses and activities.

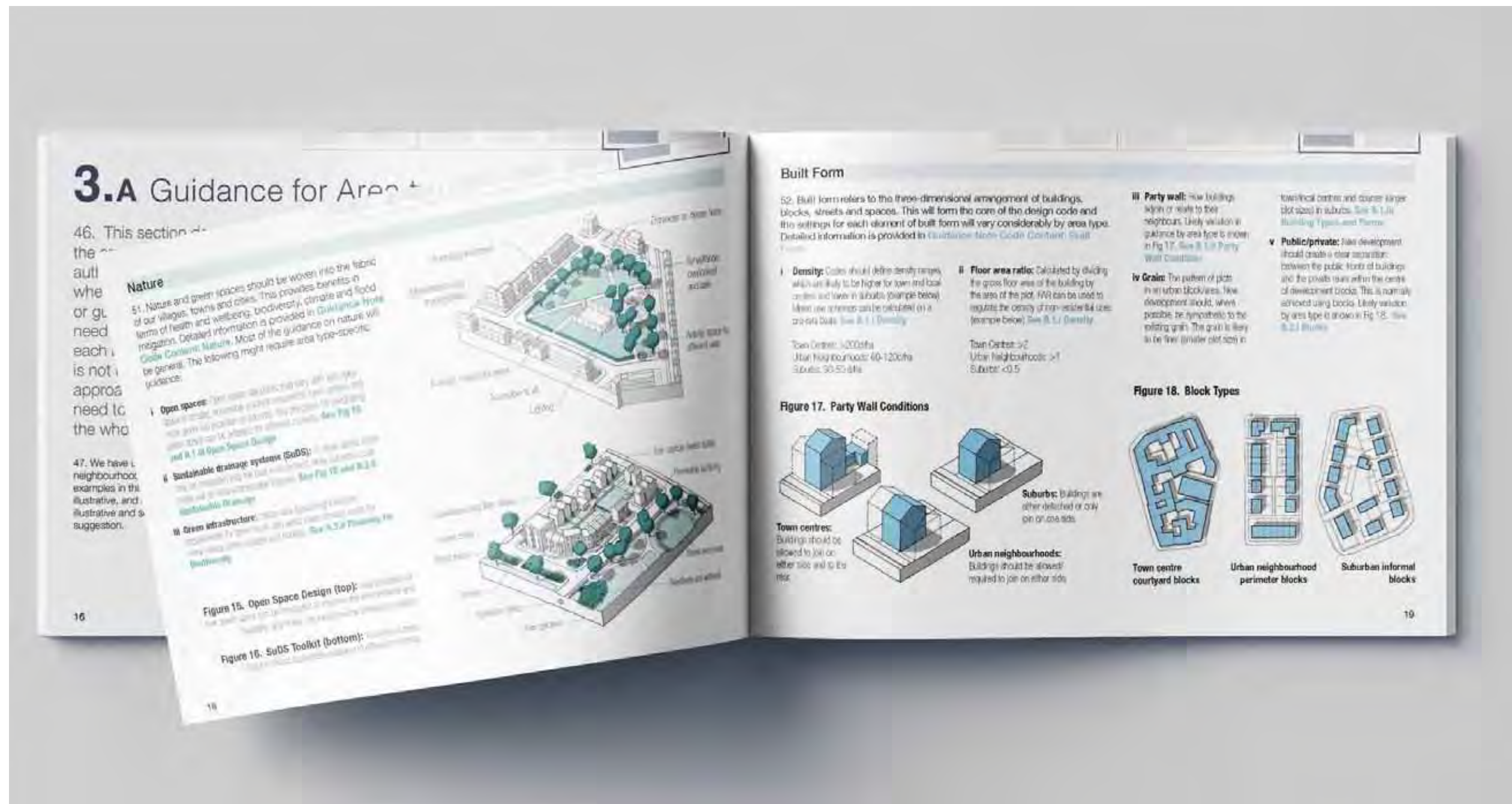
Section 02 of this document provides a detailed analysis of the context for the development including the technical and social infrastructure.

The design guide also recognises that a well-designed place is unlikely to be achieved by focusing only on the appearance, materials and detailing of buildings. It comes about through making the right choices at all levels, including:

- the layout (or masterplan);
- the form and scale of buildings;
- their appearance;
- landscape;
- materials; and
- their detailing.

Section 06 of this document responds specifically to the above and provides details how the proposals have taken these into account in the design process.







## National Model Design Code (January 2021)

Para 16 of the National Model Design Code states that;

*"16. In the absence of local design guidance, local planning authorities will be expected to defer to the National Design Guide, National Model Design Code and Manual for Streets which can be used as material considerations in planning decisions. This supports an aspiration to establish a default for local design principles and settings as part of forthcoming planning reforms that lead to well designed and beautiful places and buildings."*

At the time of writing, Waverley District Council do not have adopted Supplementary Planning Guidance to address matters of detailed design. Accordingly, we have used the content of National Model Design Code to assist in the design of the outline proposals.

Figure 1 of the document identifies the process and key elements of the design coding as shown below:

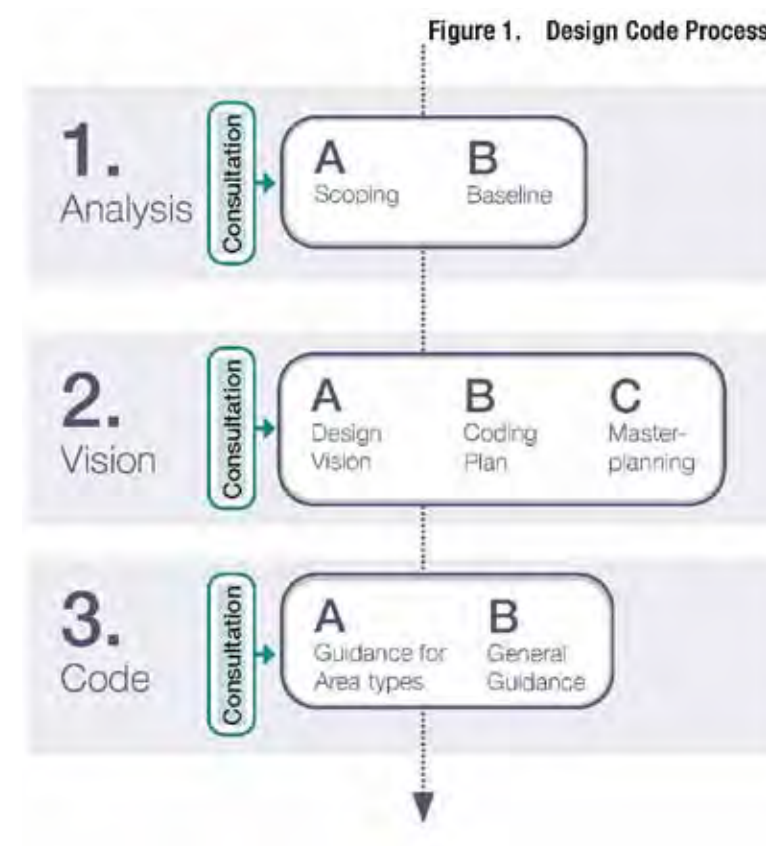


Figure 1 taken from the National Model Design Code (January 2021)

In response to the above, the planning application includes the following elements which explain the design process and detailed design solutions as follows:

- Section 02 of the DAS sets out the baseline analysis for the site and it's context including assessment of the character and density of the local area.
- Section 04 of the DAS provides details of the evaluation and rationale for the proposed scheme including text and images which explain the design vision for the site
- The illustrative masterplan provides an example of how a detailed layout could be achieved for the site addressing aspects such as land use, building layouts, amenity space, density, car parking and landscaping.
- Section 05 of the DAS breaks down and explains the various detailed design elements of the illustrative masterplan including elements such as housing mix, drainage, ecology, landscape and arboriculture.
- The parameter plan provides details of the land use and access elements of the site which the outline planning application seeks to secure and will ensure that any future detailed or reserved matters applications follow the adopted design solutions.

Furthermore the proposals adhere to the detailed guidance set out in Section 3 of the National Model Design Code, which provides general design guidance for the whole area or site.



## The Development Plan

Section 38 of the Planning and Compulsory Purchase Act 2004 requires that development must be undertaken in accordance with the development plan unless material considerations indicate otherwise. This plan led approach is confirmed in the National Planning Policy Framework (NPPF) which also provides guidance on the weight that should be afforded to adopted plans and those emerging through the local plan adoption process. The relevant development plan for the purposes of this application is made up of the Waverley Borough Local Plan Part 1 (Adopted February 2018), Waverley Borough Local Plan (Adopted 2002) and the emerging Waverley Borough Local Plan Part 2 (Currently due for adoption late 2022)

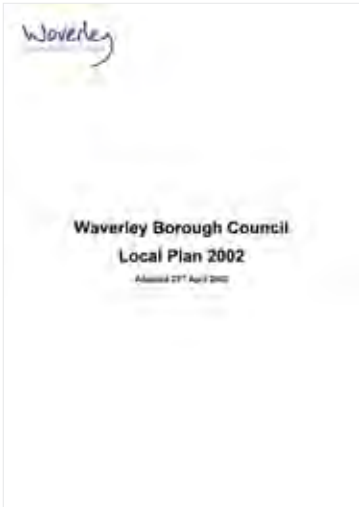


### Waverley Borough Local Plan Part 1

The Local Plan Part 1: Strategic Policies and Sites (LPP1) sets out the Council's spatial framework for delivering the development and change needed to realise our vision for development in Waverley up to 2032. LPP1 replaces a number of policies from Local Plan 2002. Some of the Local Plan 2002 policies have been retained until the adoption of Local Plan Part 2.

The policies considered of most relevance to the proposal are:

- Policy AHN1: Affordable Housing on Development Sites (and Affordable Housing SPD) states 30% affordable housing is required.
- Policy AHN3: Housing Types and Sizes confirms the provision of types/sizes of housing should reflect most up-to-date evidence.
- TD1: Townscape and Design states the considerations that should form the basis of design for development. Specific reference is made to private and public amenity space, internal space standards, on-site playspace provision and appropriate waste storage facilities.
- CC2: Sustainable Construction and Design seeks for development to consider renewable and low carbon energy supply systems, as well as green infrastructure and SuDS.
- CC3: Renewable Energy Development emphasises these aims, encouraging natural lighting, sustainable transport means, biodiversity enhancement and ensuring the target of 110l of water per day is not exceeded.
- LRC1: Leisure and Recreation Facilities requires the provision of play space in accordance with specific standards based on Fields In Trust Guidance



### Waverley Borough Local Plan (Adopted 2002)

The Local Plan 2002 was adopted in 2002 and is in the process of being replaced by Waverley's New Local Plan (Part 1 and Part 2). Some of the Local Plan 2002 policies have been retained until the adoption of Local Plan Part 2.

The policies considered of most relevance to the proposal are:

-





**Waverley Borough Local Plan Part 2**

Local Plan Part 2 (LPP2) will form the second stage of Waverley's new Local Plan. Together with Local Plan Part 1: Strategic Policies and Sites (LPP1) this document will replace the 2002 Local Plan.

LPP1 specifies the overall spatial strategy for development and growth in Waverley, and allocated strategic sites. LPP2 will provide the more detailed 'Development Management'

policies, review a suite of local designations and will allocate sites needed for housing or other uses in certain areas of Waverley.

The Local Plan Part 2 is currently at examination. Policies that may become relevant (depending on adoption) include:

- DM2: Energy Efficiency will require new dwellings to achieve a 20% reduction in carbon emissions against the Target Emission Rate set out within Building Regulations legislation.
- DM4: Quality Places through Design outlines a number of factors developments should consider:

**Supplementary Planning Documents**

There are a number of Supplementary Planning Documents and Guidance which need to be considered as part of the policy framework including:

- Planning Infrastructure Contributions
- Affordable Housing SPD
- Waverley Cycling Plan
- Surrey Design as Supplementary Planning Guidance (SPG)
- Cranleigh Design Statement

**Cranleigh Design Statement**

The Cranleigh Design Statement was published in 2008 and was produced to amplify the saved policy D4 Design and LAYout of the Waverley Local Plan 2002. Whilst this document is quite old, it's content has been considered in the formulation of the proposals for the site.

Other relevant design related policy

There are a number of other key policy documents which have been taken into account in the preparation of the planning application as follows:

**Building for a Healthy Life (2022)**

An assessment of the proposals has been made against the criteria for Building for a Healthy Life and is set out at the end of Section 07 of this document.

**Manual for Streets (2007) and Manual for Streets 2 (2010)**

The layout of the streets and movement and access framework for the site has been designed to accord with guidance and best practice in accordance with Manual for Streets guidance. Section 07 of this document describes how this will be achieved.

**Secured By Design (Updated version 2019)**

The scheme has been designed to encompass all of the objectives set out in the Secured by Design in relation to the layout. How this has been achieved in section 07 of the document.





FIGURE 14. Initial concept masterplan sketch for the site



# 04 EVALUATION AND RATIONALE

**Well-designed places and buildings come about when there is a clearly expressed ‘story’ for the design concept and how it has evolved into a design proposal. This explains how the concept influences the layout, form, appearance and details of the proposed development. It may draw its inspiration from the site, its surroundings or a wider context. It may also introduce new approaches to contrast with, or complement, its context.**

National Design Guide (2019) Para 16

## Design team

As a developer, Gleeson Land aspires to create attractive places that will stand the test of time. The company's objective is to create developments that make a positive contribution to the existing environment in which future occupants are able to support and integrate into the existing community.

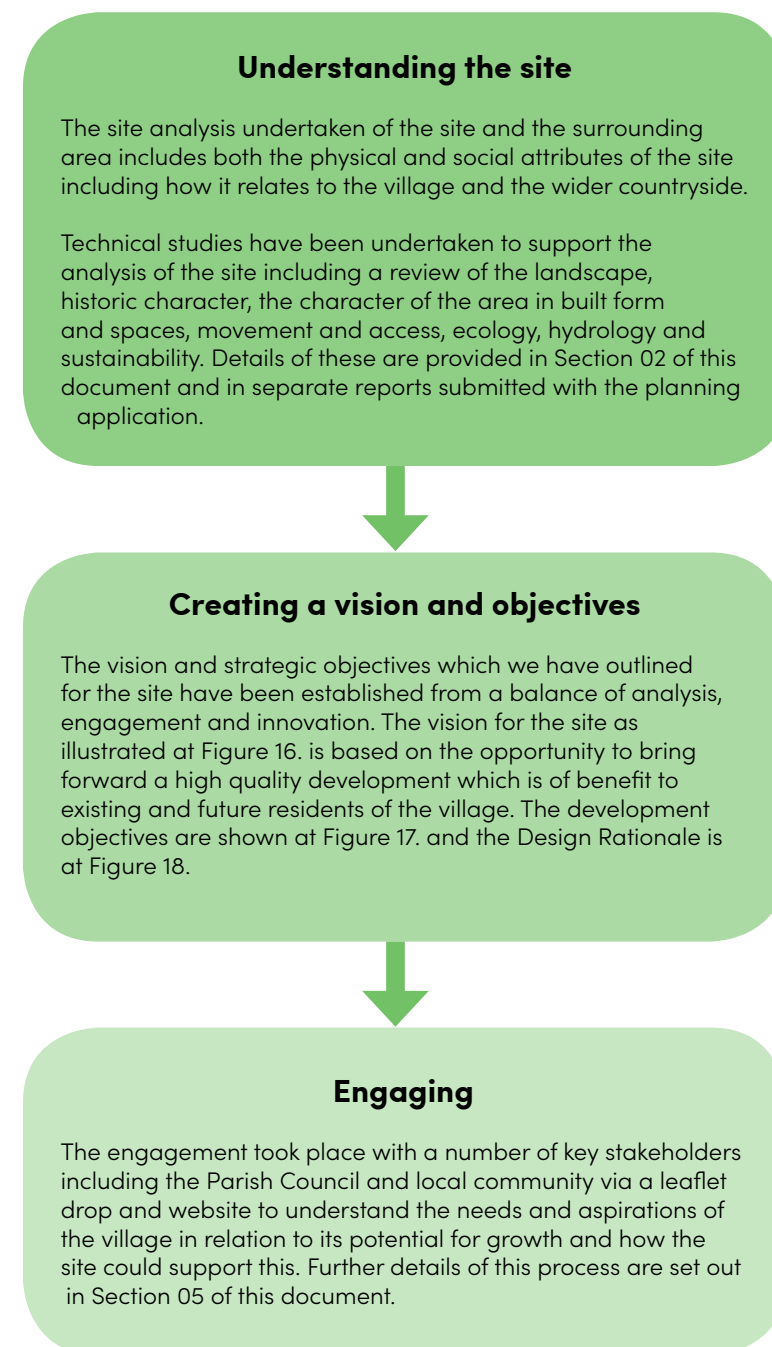
To assist with the delivery of these aims, the following team contributed to the preparation of the proposals for this planning application:

- Planning – Gillings Planning
- Urban Design and Architecture – Richards Urban Design Ltd.
- Landscape – David Williams Landscape Consultancy
- Transportation and Access – Motion
- Ecology – Aspect Ecology
- Drainage – Abley Letchford Partnership Ltd
- Arboriculture – Aspect Arboriculture
- Heritage – RPS
- Sustainability – Daedalus
- Air Quality – Mayer Brown

## Developing a masterplan and vision

To achieve a responsive and successful masterplan we have sought to both understand the site, its constraints and opportunities and to also establish a strong vision.

The process is shown in the diagram right, the initial concept masterplan sketch is shown at Figure 14, and the vision for the development is shown at Figure 15.



The masterplan process





***“ An opportunity to create a distinct place which utilises the existing mature landscape features and provides a mix of new high quality housing and public open spaces, whilst improving access to the wider countryside for existing and future residents. ”***

**FIGURE 15.** Vision for the site showing how the entrance to the scheme might look





FIGURE 16. Development objectives

### Development objectives

Building on the vision we identified a series of opportunities or development objectives which have guided the vision and evolution of both the masterplan and will support the development of the new neighbourhood area. These are shown on the diagram at Figure 15.

### Masterplan concepts

The masterplan concepts at Figure 17 show how these objectives have been translated into the masterplan for the site. They show the evolution of the masterplan in response to the constraints and opportunities identified in Section 02.



01



**Existing site**

- Retain existing hedgerows and trees with appropriate offsets to any new development
- Consider the edges of the site, especially those with existing residential properties ensuring that there is no adverse impact on their amenity
- Respect the setting of the Listed Buildings
- Retain the public rights of way within the site and their setting

02



**Landscape, ecology and public open space**

- Retain the western landscape boundaries and enhance with additional planting as required to protect the amenity of existing properties and visually contain the development
- Provide additional landscape planting to the south of the listed buildings to provide a defined area of natural greenspace which protects the amenity and setting of the buildings
- Deliver new areas of informal open space in the central part of the site with provision for a natural children's play area
- Provide areas of informal open space on the edges of the site with potential for informal play
- Create a new area for biodiversity improvement in the northernmost part of the site

03



**Access and movement**

- Provide vehicular access from a new priority junction with Knowle Lane from the western edge of the site
- Provide a pattern of streets which encourages low speeds
- Provide a hierarchy of streets to improve the legibility of the place

FIGURE 17. Design rationale



04



### Pedestrian and cycle links

- Retain and enhance the existing Public Right of Way within the site
- Provide connections to the Downs Way / Public Right of Way on the eastern edge of the site
- Provide pedestrian links throughout the site to encourage walking and cycling

05



### Built form

- Create an area of built form which adjoins the adjacent existing built up area to the east of the site and whilst protecting the amenity of existing residential uses an setting of heritage assets
- Set buildings back from the edges of the site to allow for soft landscape planting which will minimise the visual impact on the landscape
- Provide buildings up to 2.5 storeys in total with 2 storeys maximum in the southern and western parts of the site
- Allow for a variety of building forms and layouts to enhance the character of the site
- Provide a density and form which respects the character and context of the site

06



### Sustainable Urban Drainage

- Provide a Sustainable Urban Drainage solution in the north eastern part of the site which allows natural drainage and enhances biodiversity
- Provide open swales along the edge of the roads where possible
- Connect to the existing ditch and ensure that the discharge of any surface water from the site is managed to not exceed existing run off rates
- Utilise opportunities for permeable surfaces where possible



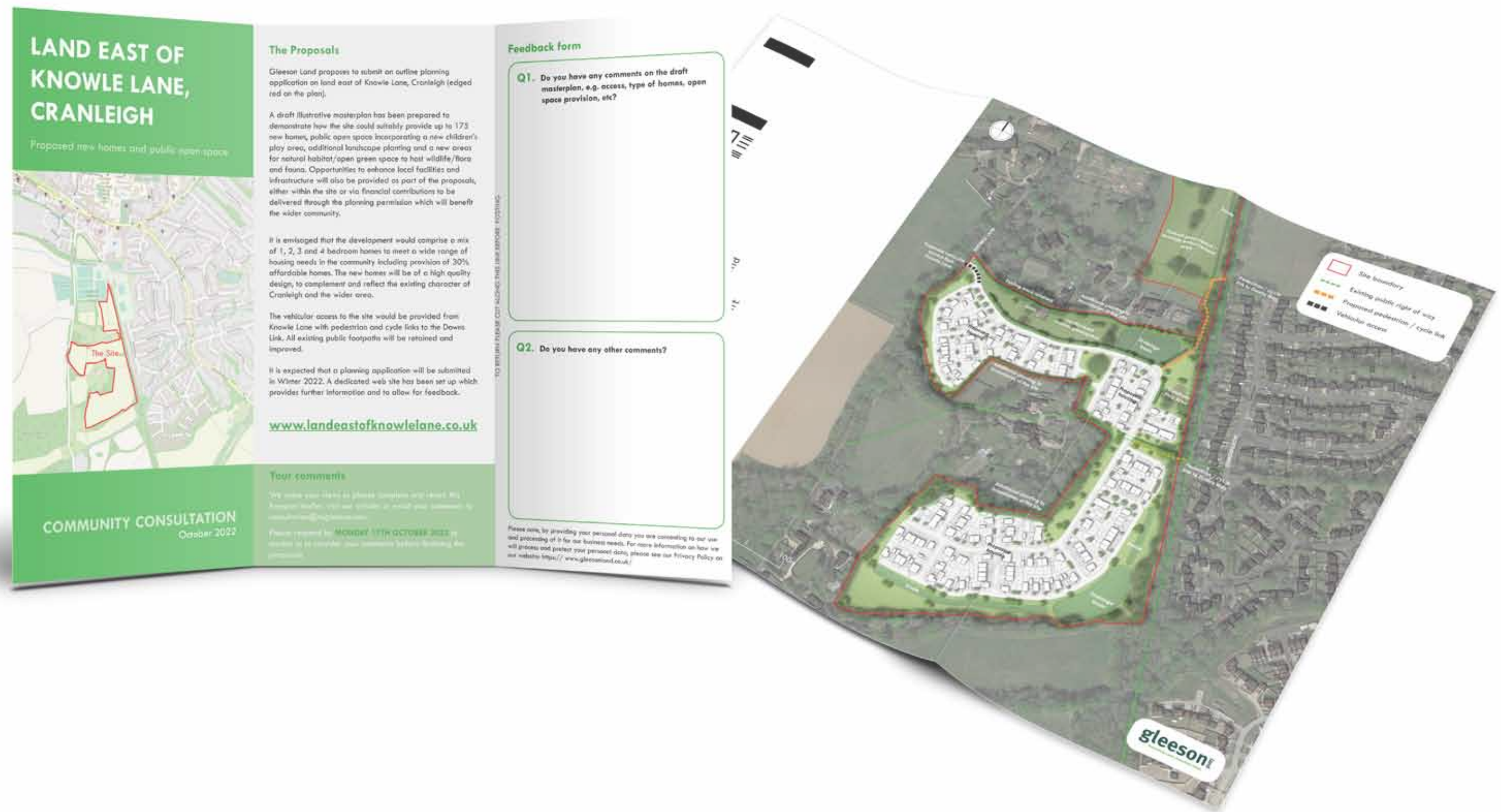


FIGURE 18. Leaflet distributed to the local community as part of the engagement process



# 05 ENGAGEMENT

**Early engagement has significant potential to improve the efficiency and effectiveness of the planning application system for all parties. Good quality preapplication discussion enables better coordination between public and private resources and improved outcomes for the community.**

National Planning Policy Framework (2021) Para 39



Web site for information and feedback

## Background

This planning application has been prepared in the context of the following engagement processes:

- Discussions with the Local Planning Authority at the pre-application stage
- Engagement with the Parish Council
- Community engagement via a leaflet and web site with opportunities for feedback by post and online

The details of the consultation responses are set out fully within the Statement of Community Involvement which is submitted as part of the planning application.

## Local Planning Authority

A pre-application submission was submitted to Waverley Borough Council in July 2022. A meeting was held with a Principal Planning Officer to discuss the proposals and a written response was provided.

Further information on the pre-application discussions with the LPA can be found in the Statement of Community Involvement.

It is envisaged that further engagement will take place post submission to ensure that officers and members are well informed to make their final decision.

## Parish Council

The draft proposals were presented to The Parish Council on 10th October 2022.

It is envisaged that further engagement will take place post submission to ensure that members of the Parish Council are well informed to make a decision.

## Community engagement

A leaflet (Figure 18) was distributed to circa 1000 homes within the Cranleigh area setting out the details of the proposals. The leaflet included a prepaid response form which asked the following questions:

**Do you live or work in the area?**

**Do you support the proposed development for houses at the site?**

**Do you have any comments on the draft masterplan, e.g. access, type of homes, open space provision, etc?**

**Do you have any other comments?**

A dedicated web site was also set up;

[www.landeastofknowlelane.co.uk](http://www.landeastofknowlelane.co.uk)

This provided additional information on the proposals and allowed comments to be submitted via an online form.

## Responses to feedback

The statement of community involvement sets out the findings of the consultation process and the responses to the feedback. These include the following:

- A reduction in the amount of development
- A greater buffer to the heritage assets and existing properties which are on the edges of the site
- Increased areas of public open space for landscape planting and ecological gain
- Amendments to the scheme to ensure the protection of existing trees
- Further engagement with the highway authority to ensure that the scheme is acceptable in terms of capacity and safety
- Engagement with the statutory authorities to ensure that there is the capacity for the required infrastructure





**FIGURE 19.** Three dimensional model of the proposals created to explore the layout, scale and massing of the proposals



## 06 DESIGN AND ACCESS

**A well-designed place is unlikely to be achieved by focusing only on the appearance, materials and detailing of buildings. It comes about through making the right choices at all levels, including:**

- **the layout (or masterplan);**
- **the form and scale of buildings;**
- **their appearance;**
- **landscape;**
- **materials; and**
- **their detailing.**

National Design Guide (2019) Para 21

### Form of application

The application is submitted by Gleeson Land. It is an outline planning application with all matters reserved except access.

The proposals are illustrated by the application plans (see below) and described in this section of the document. They draw together specialist advice from a number of experts to ensure the proposals are both realistic and accurate in terms of their design and access.

This section of the document explains the design solutions which have adopted and how they work together to form a comprehensive development scheme. They include the following elements:

- landscape
- urban design
- movement and access
- ecology
- drainage
- heritage and archaeology
- noise

The following plans form part of the planning application:

#### 1321.01 Site location plan

The site location plan shows the proposed development in relation to its surrounding properties. It is based on an up-to-date Ordnance Survey map and at an identified standard metric scale.

The site of the proposed development is outlined in red (see Figure 03)

#### 1321.02 Illustrative site layout plan

The Illustrative site layout plan is shown at Figure 21. It has been prepared to satisfy the technical requirements of residential layout, access, ecology, landscape and hydrology in detail and demonstrate how the site can accommodate the various elements described by the application.

The layout is for illustrative purposes only and the detailed layout will be subject to subsequent reserved matters or detailed planning applications.

#### 1321.03 Parameter plan

The Parameter Plan (Figure 20) defines the key elements of the proposal which will be established by any planning approval for the site. These include the land use, scale and access.

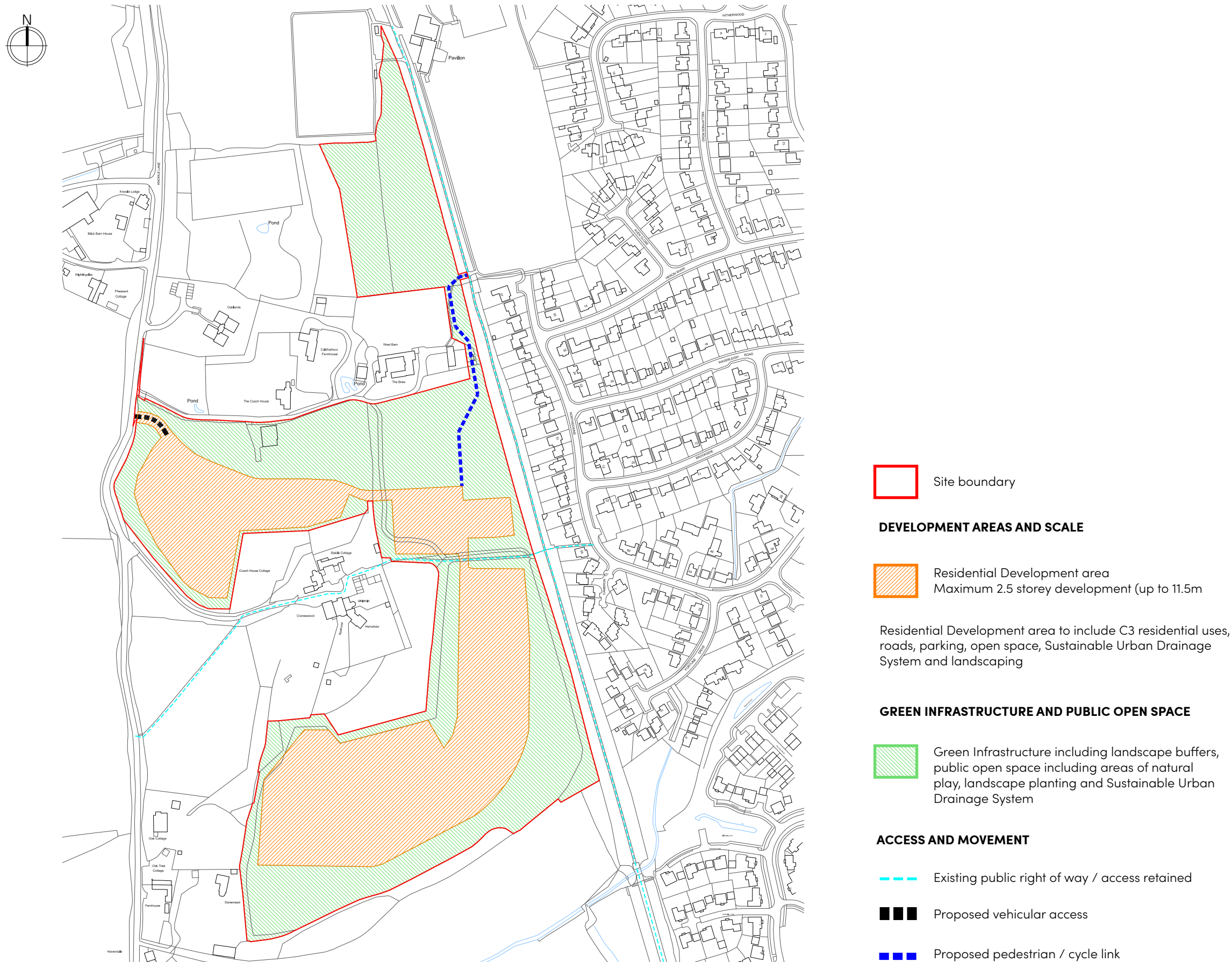
### Design and access

In accordance with the criteria for well designed places as set out in the National Design Guide, para 21, the document breaks the proposals down to address the following areas:

- Land use and amount
- Layout and density
- Character
- Scale and massing
- Landscape
- Drainage
- Ecology
- Movement and Access

The document continues to demonstrate how the proposals respond to the requirements of best practice in terms of Sustainability, Secured By Design and Building for a Healthy Life as far as can be achieved at the outline planning application stage.





**FIGURE 20.** Parameter plan (Application drawing ref: 1321.03)



## Land use and Amount

The Parameter plan (Figure 20) shows the proposed land uses and access for the site.

The total area of the site measures 11.7 hectares / 28.9 acres. The site layout plan shows the following elements:

- A residential development area of circa 5.0 ha / 12.4 acres. A mix of residential accommodation comprising 1,2,3 and 4 bedroom dwellings including a percentage of affordable housing with a focus towards provision of smaller units to respond to local housing needs.
- Circa 6.7 ha / 16.6 acres of landscape planting and public open space (approximately 60% of the total site area) including areas of informal amenity space, new planting and areas of natural greenspace incorporating Sustainable Urban Drainage features and ecological enhancement.
- A new vehicular access provided from a new priority junction with Knowle Lane.
- Pedestrian and cycle links from within the site to the existing network and Public Rights of Way adjacent to the site.
- The retention of the existing Public Right of Way within the site and it's setting.
- New planting within the development area and on the boundaries of the site to visually contain the development, enhance it's landscape character, improve biodiversity and safeguard the amenity of existing properties.
- Development of predominantly 2 storey buildings with a limited number of number of 2.5 storey (up to 11.5m) in key locations across the site to assist in the legibility of the scheme and provide variety in the townscape.

## Mix of dwellings

The mix of dwellings shown on the illustrative site layout plan includes a variety of dwelling types and sizes for both private and affordable housing with a focus on a mix of smaller units and family housing.

The overall mix of units shown on the illustrative layout plan is based on the housing needs as identified in the West Surrey Strategic Housing Market Assessment (SHMA) by GL Hearn Ltd (September 2015) and is shown in the table below.

Unit type	Approx size (sqm)	No. units	%
1 bedroom flat	52	38	23
2 bedroom house	71-82	43	27
3 bedroom house	84-105	54	33
4 bedroom house	107-130	27	17
		162	100

## Market housing

The illustrative site layout plan shows a mix of housing sizes and types for the market element. The proposed mix includes 1,2,3 and 4 bedroom properties as shown in the table below.

Unit type	Approx size (sqm)	No. units	%
1 bedroom flat	52	10	9
2 bedroom house	71-82	30	30
3 bedroom house	84-105	45	45
4 bedroom house	107-130	26	26
		111	100

## Affordable housing

The site layout plan shows how the site could accommodate up to 30% affordable housing including a mix of units which responds to current housing need with a focus on smaller units.

The proposed mix of units includes a wide range of unit types and sizes including 1 and 2 bedroom apartments and 2,3 and 4 bedroom houses.

Unit type	Approx size (sqm)	No. units	%
1 bedroom flat	52	2	55
2 bedroom house	71-82	13	25
3 bedroom house	84-105	9	18
4 bedroom house	107-130	1	2
		51	100

The illustrative site layout plan does not specifically show the affordable housing units and it is intended that they will be integrated within the private housing, arranged in small clusters to assist in their procurement and future management. The affordable units would be tenure blind i.e. no discernible difference between the private and affordable units





FIGURE 21 . Illustrative masterplan (Application drawing ref: 1321.02)

## Layout and Density

The illustrative layout (Figure 21.) has been prepared to demonstrate how the development could be laid out to respond to the opportunities and constraints of the site, taking into account the vision and the outcomes of the engagement process. The layout is not for approval as part of the outline planning application but demonstrates the sites ability to deliver the scheme as described by the application.

The parameter plan and layout shows a net residential area of 4.8 ha / 11.9 acres with 162 new homes at a medium to low density (14 dph gross density / 34 dph net density)

The arrangement of buildings is based on simple perimeter blocks to ensure that open spaces and streets are overlooked. This also provides distinction between public and private realm.

The layout shows the following key elements:

- Retention of important trees and hedgerows within the site and on its boundaries with enhanced landscape planting to reinforce the landscaped edges to the site
- New soft landscape features within the development including a number of trees and hedgerows which will replicate the distinct character of the town edge and its rural setting
- A new Sustainable Urban Drainage System (SUDS) which manages the surface water run-off within the site
- A new vehicular from the existing road network at the northwestern end of the site
- Provision of new routes through and from the site which have potential to provide pedestrian and cycle links to the surrounding area and the existing public rights of way
- A hierarchy of streets, shared surfaces and footpaths which aim to reduce traffic speeds and encourage pedestrian / cycle priority in certain areas
- Frontages of buildings which lie parallel to the line of the street in order to reinforce the definition of the street



- The built form includes a mix of terraces, semi-detached, detached and apartment buildings. Buildings on the eastern and southern edges comprise detached and semi-detached properties to allow for additional planting to soften the visual impact of these areas
- Corner buildings have been shown to maintain active frontages. Some of the apartment buildings have also been shown in “gateway” locations to assist in the legibility of the site
- The layout and arrangements of plots has sought to make efficient use of the land to achieve 162 homes.
- Although the individual units have not been specified at this stage, the layout and design of the affordable housing will be the same as the market housing providing a tenure blind approach
- Buildings which are predominantly two storeys with the potential for landmark buildings at key locations within the site to assist in providing legibility. Landmarks would be provided by the arrangement of buildings and will use material and detailed design to enhance their legibility.
- The scale strategy shows development up to two storeys in the southeastern parts of the site to soften the interface with the surrounding landscape, and in the area directly to the south of the Listed Farmhouse and barns to respect their setting and amenity.
- Development has also been limited to two storeys directly to the north of Stable Cottage with a generous landscape buffer to protect its amenity.
- The size and shape of plots varies from one plot to another. This means that detached, semi-detached and terraced housing are distributed throughout the site. Plots also vary in shape and size for each type of house.
- There is a variety of setbacks of houses from the pavement or highway between plots as one moves along a street. In other words there is a varied building line with a strong definition of the street maintained through boundary hedges and walls. In some cases the houses are set back quite far back on the plot whereas in other cases the house would be very close to the back of the footway or a shared surface.

## Detailed layout considerations

Whilst layout is not for consideration as part of the outline application, an illustrative layout has been prepared to show that the site has capacity to accommodate the proposed quantum of development and the associated detailed design requirements.

With regards the detailed layout of the individual dwellings and open spaces, the houses are generally arranged in a conventional block structure with gardens to gardens and many of the houses have a generous set back from the roads and shared surfaces.

The layout of dwellings provides garden sizes which are generally between 10m and 15m which allow for adequate private amenity space. This reflects the character of existing development in the vicinity of the site and the need to maximise the effective use of the site for housing.

The arrangement of buildings will ensure that all new dwellings will have a suitable outlook and level of natural light.

Refuse collection arrangements will be considered at reserved matters stage. A statement of intent on this issue is provided later in this document. However, in all cases properties have a separate access to their rear gardens to allow bins and cycles to be stored to the rear of properties.

## Character

### Layout

The arrangement and layout of the buildings within the site seeks to reflect the character of the existing village. Figure 24 provides references from the village to the illustrative layout to show how this has been achieved. The layout elements include the following characteristics:

- A variety of dwelling types, layouts and sizes
- A mix of plot sizes, layouts and arrangements
- Dwellings with different set backs from the street including large set backs for some detached properties and other dwellings set close to the footway
- Building which generally follow the alignment of the road with some set at angles and some small terraces perpendicular
- Built form generally in the form of terraces (up to three dwellings), pairs of semi-detached and detached properties.
- Car parking to the side of front of properties





FIGURE 22. Plan showing how layout reflects the character of Cranleigh and the wider area



## Scale and massing

It is envisaged that the scale and massing of the proposed development would be designed to respond to the site characteristics and to create a variety in the built form, typical of Cranleigh and the wider area.

As shown on the parameter plan, development will be up to 2.5 storeys (up to 11.5m) across the site.

The scale strategy plan (Figure 23) indicates where the taller buildings might be best located. It shows development limited to two storeys on the edges of the site and in the area directly south of the listed buildings. This is to help minimise any visual impact in these areas, protect the amenity of existing residential properties to the north and south of the site, and the maintain the setting of the heritage assets.

Buildings shown are predominantly rectangular or 'L' shaped with occasional articulation in the form of projections and porches. A range of detached (large and small), semi-detached and short terraces would be provided across the site.

The approach to density is based on creating a pattern across the site which responds to its relationship to the countryside, adjoining urban areas. This approach will provide a low to medium density across the site with density reducing towards the western and northern edges of the site to provide a transition between the built form, Knowle Lane and the wider landscape and to allow for a greater degree of landscape planting on the boundary of the site.



-  Preferred location for 2 storey buildings
-  Potential areas for up to 2.5 storey buildings



FIGURE 23. Plan showing the proposed scale strategy





**FIGURE 24 .** Three dimensional model of the proposals created to explore the layout, scale and massing of the proposals





**FIGURE 25 .** Illustration showing the existing mature trees retained in the setting with new residential development overlooking the new greenspaces



**Key buildings and frontages**

Key buildings, landmarks, gateways and focal points help people find their way. Figure 26 shows the potential location for key buildings which could assist in providing a legible layout. The design of the buildings could include the following:

- Corner buildings which provide identity and points of orientation by responding to both aspects
- The detailing and quality of materials on specific buildings. Richness of detail is particularly important at ground level, where people see it close at hand. The choice of materials can add interest and aid legibility.
- Works of art and lighting schemes which can help to aid identity and legibility

**Streets and spaces**

The character will be defined by both the spatial arrangement of areas, the characteristics of the streets and spaces within these areas.

Within the development, potential locations have also been shown for key buildings which will assist in the legibility of the place and creating views and landmarks within the scheme.

There are principally two different kinds of urban streets proposed. The character of the streets, key frontages and potential location for key buildings are shown on Figure 26. as follows:

- Residential Street
- Green Drives
- Key frontage
- \*

Potential location for key building



**FIGURE 26.** Proposed character areas within the development defined by streets and key buildings



## Residential Street

The illustrative masterplan shows residential streets which are the primary roads for access to individual properties and to the green drives.

The character of the residential streets can be defined by the following features:

- 1 A road width of 5.5m with 2m footways on either or one side
- 2 Buildings overlooking the street set back from the street with medium to short front gardens
- 3 Built form in a variety of arrangements including detached, semi detached and small terraces or groups of buildings.
- 4 Front gardens defined by walls, timber fences, hedgerows
- 5 Buildings 2-2.5 storeys in height with the potential for some buildings to incorporate accommodation in the roof
- 6 Car parking provided on plot with direct access to the street or in defined bays within the street. Visitor parking will be provided within the street in defined bays.

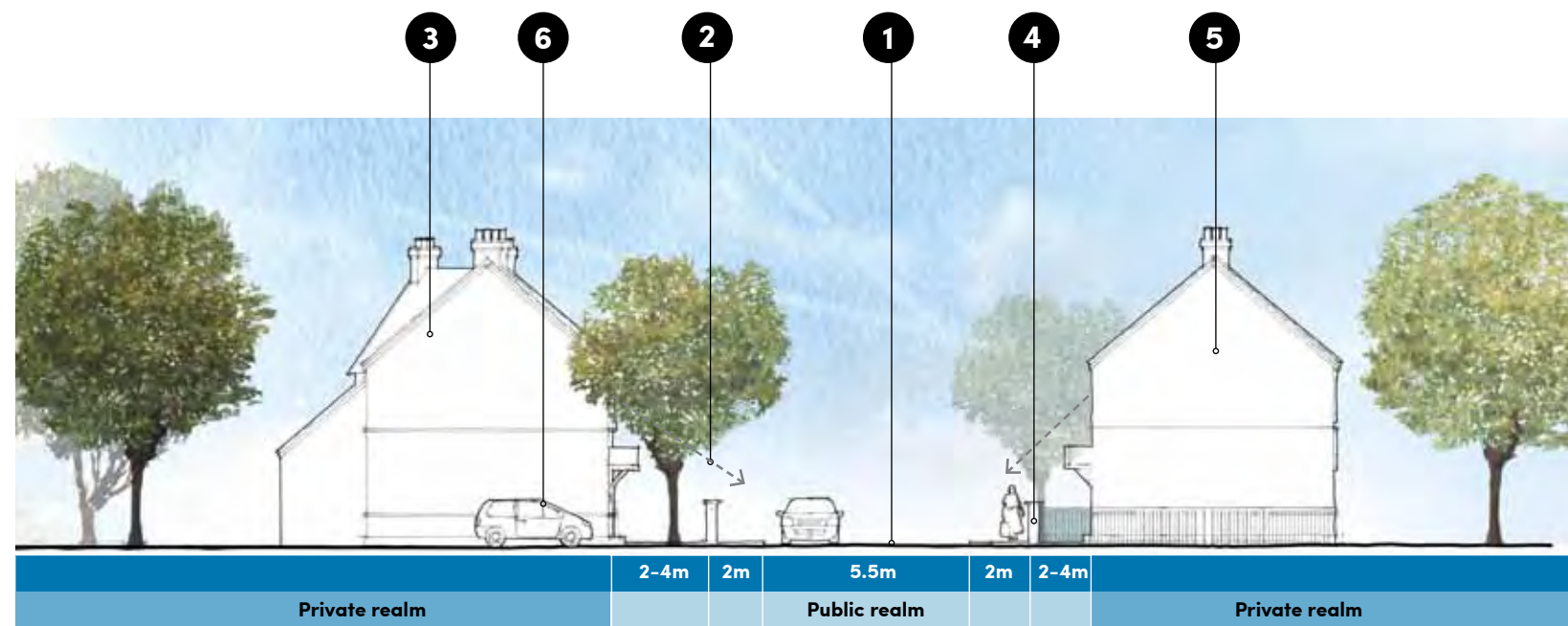


FIGURE 27. Typical section through the Residential Street



FIGURE 28. Plan view showing the character of development in the Residential Street character areas



### Green Drives

The illustrative masterplan shows Green Drives which could define the edges of the residential development area and areas where the urban form adjoins areas of public open space.

Their character responds to relationship between the informal open space and built form and to the longer distance views into the site.

The built form and massing has been broken down into predominantly detached buildings with a few short clusters of buildings. Planting is provided between buildings and in front of the properties to provide a transition with the open space and urban edge. The buildings front onto a shared surface which provides limited access for vehicles and controls speeds through its width and alignment. Lighting will also be reduced in these parts of the site. The existing and proposed hedgerows and trees on the edges of the site will be retained and supplemented to set the development into a treed structure.

The character of the Green Drives can be defined by the following features:

- 1 A road width which varies providing a shared surface for vehicles, cyclists and pedestrians
- 2 Buildings overlooking the street set back from the street with short to medium length front gardens
- 3 Built form predominantly in detached form with some clusters of houses
- 4 Front gardens defined by low walls, timber fences or hedgerows / shrub planting
- 5 Buildings generally limited to a maximum of 2 storeys in height
- 6 Car parking will be provided on plot with direct access to the shared surface. Visitor parking will be provided in identified bays parallel to the carriageway.

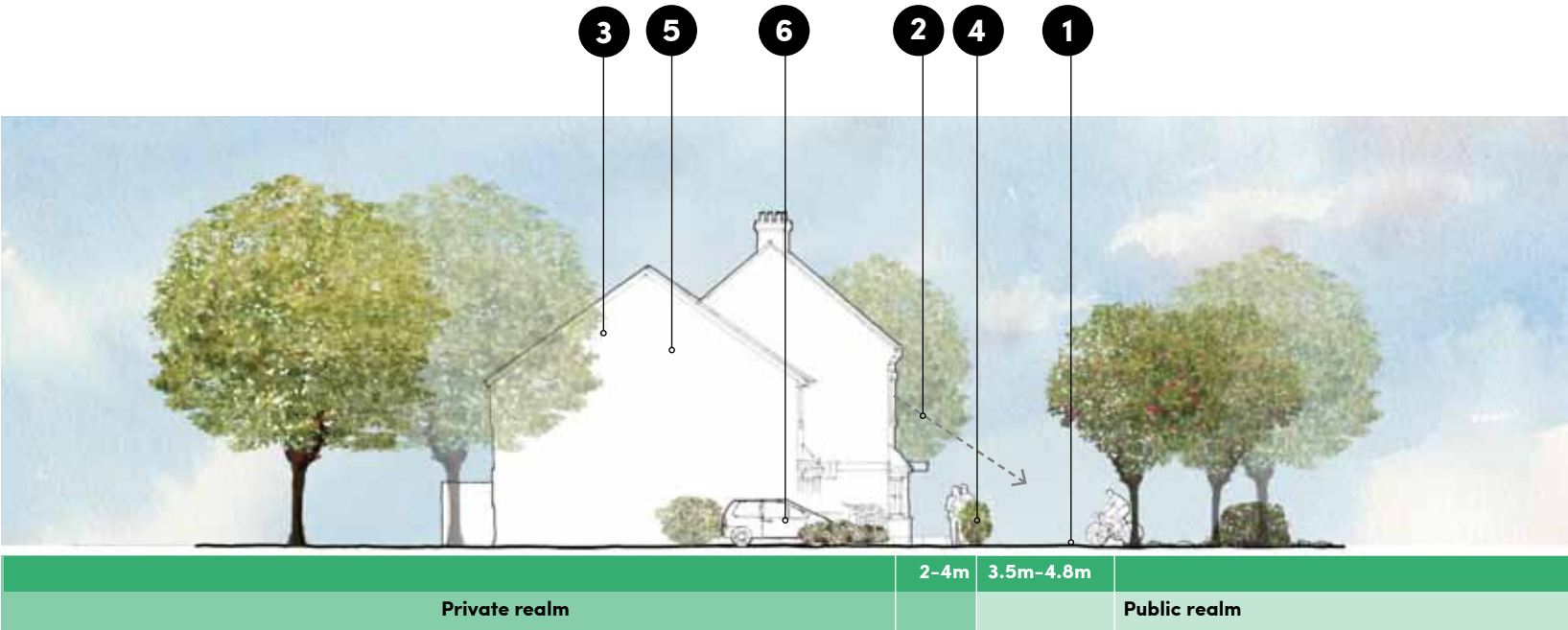


FIGURE 29. Typical section through the Green Drive



FIGURE 30. Plan showing the character of development in the Green Drives character areas



## Appearance and Materials

The proposed application is in outline form and appearance and materials will be subject to future reserved matters applications.

The approach to the design and appearance of the buildings and spaces draws heavily on the existing character of Cranleigh and the wider Surrey area.

Whilst a traditional approach has been shown in this document there is scope for interpretation of the design features using a more contemporary approach.

It is envisaged that the development will utilise a fairly limited palette of materials relying more on architectural detailing and design to promote identity than material. This is more in keeping with the traditional approach to building utilising locally sourced materials where possible. Whilst built form within the site should have unity in materials and design principles, a standard approach to the design of dwellings should be avoided where possible.

The palette of materials should reflect the local vernacular responding positively to the character of the area. The use of material and level of detailing should reflect the character of the area and the function of the buildings.

All materials will need to be agreed with the Local Planning Authority in advance of development. Some of the key design features which could be incorporated within the development include:

### Elevations

Elevations will be generally flat with some projecting bays at ground floor or two storey projecting gables.

Porches are generally projecting features either stand alone or integrated into bays or gables.

The proposed elevations include use of the following materials:

- Red brick
- Tile hanging
- Render (natural or muted colours)



### Roofs

Roof pitches may vary according to design and material.

Roofs and eaves within the development should:

- be clay or grey colour with plain tiles
- generally have simple or open eaves detailing with limited opportunities for decorative fascias on key buildings
- soffits and fascias where provided should be white or black

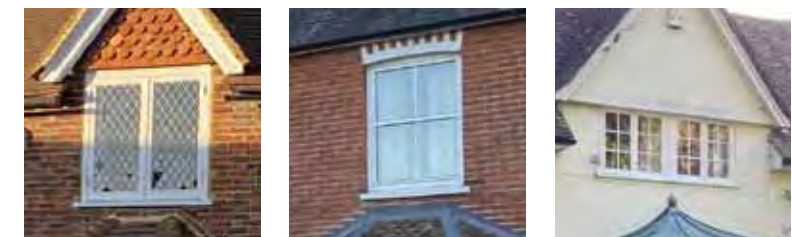


### Windows

The appearance of windows is determined by their siting, size, style and by the design of elements, for example, the sill, frame, transom, mullion, glazing bars and leaded lights. The design of each individual part can materially affect the overall proportions and appearance of the window, leading to an alteration in the appearance of the property. In proportion the windows and their design should respond to the rhythm of the elevation with either the horizontal or vertical emphasis.

Windows within the development should:

- Be recessed from the elevation of the building
- Where obscure glazed, not be on the front elevation of the building
- Predominantly white or muted coloured frames (not dark stained hard wood)
- Include sills as an integral part of the window



### Doors

As with windows there is a clear role for modern materials and design solutions but their use requires careful consideration. Doors within the development should where possible have the following characteristics:

- Where they are painted to be predominantly black or white with some other primary colours
- Have a natural or white painted frames (not dark stained hard wood)
- Be recessed from the main elevation and avoid steps up, providing level access





**FIGURE 31 .** Landscape strategy plan (DWLC)



## Green Infrastructure

### Landscape Strategy

Figure 30 shows the Landscape Strategy for the site. The development proposals and Landscape Strategy have been informed by a landscape and visual assessment. The aims of the landscape design proposals include:

- The retention and enhancement of the existing hedgerows and trees adjoining the site and introduction of new trees, areas of shrubs, hedgerows, and grassed areas, where appropriate, to strengthen and enhance the existing boundaries of the site, extend the longevity of the existing planting and to contribute to local landscape character;
- The maintenance of existing or provision of new structural tree / shrub and hedgerow planting to contribute to local microclimate management;
- The incorporation of new tree and shrub planting within and on the edges of the development to reduce the apparent scale of the development, soften its impact on views from the west and assimilate it into the site and the surrounding landscape;
- The provision of a landscape which maintains, enhances and supports wildlife habitat and diversity, and;
- To provide residential amenity and garden areas for the new residents whilst safeguarding the amenities of existing residents adjoining the site.

The proposed landscape planting primarily relate to the provision of a substantial area of open space including landscape 'buffers' (or transition zones) along the western and eastern edges of the site, the northern area of the site, an area of open space and tree planting within the central parts of the site, separating housing areas from West Barn and The Brew, and area of open space along the southern boundary of the site. In addition, there would be areas of informal tree planting within the open space, new tree and hedgerow planting along the access road and secondary roads and proposed planting adjoining the proposed swales linking to the attenuation pond situated within the central and south eastern parts of the site.

The plan shows the following:

- The retention of existing trees and hedgerows on the boundaries to the site and within the northern and central parts of the site (which are worthy of retention); and their protection to be compliant with BS5837:2012 – 'Trees in relation to design, demolition and construction – Recommendations';
- The retention of the northern parts of the site in open uses as public open space (primarily enhancement) with new trees, hedgerows and native shrub planting along the southern and western edges of the area, informal paths, seating and a mosaic of grassland habitats such as wildflower meadows and long and short grassed areas elsewhere depending on the final design of the proposals.
- The introduction of substantial areas of multifunctional open space (mitigation and enhancement) within the central portion of the site, north of the access road serving the development. This area will provide recreational and amenity areas including play and seating areas, landscape 'buffer' to West Barn and The Brew listed buildings, part of the developments sustainable drainage system, water attenuation / SuDS areas within the site and a mosaic of landscape / wildlife habitats and enhancements including new tree, shrub planting (mitigation and enhancement) and mosaic of grasslands such as damp wildflower areas to SuDS, general open wildflower areas elsewhere and network of footpath routes linking the housing areas to the open space to the north and separate connection to Downs Link path.
- The introduction of open space and landscape 'buffer' (or transition zones) along Knowle Lane, approximately 20m to 25m in width, including retention of the existing tree and hedgerows along the lane and new groups of tree and shrub planting (mitigation) to minimise the impact of the proposed houses on glimpsed views from Knowle Lane and create a pleasant and attractive amenity for the new residents.
- The introduction of open space and landscape 'buffer' (or transition zones) along the eastern Downs Link path boundary of the site and also along the southern edge of the site. The landscape 'buffer' would be approximately 10m to 70m in width, including retention of the existing tree and hedgerows along this boundary and new groups of tree and shrub planting (mitigation), to minimise the impact of the proposed houses on glimpsed views from DLP, and provide a mosaic of grassland habitats such as damp wildflower areas to the SuDS, general open wildflower areas elsewhere depending on the final design of

the proposals. The proposed tree, shrub and hedgerow planting would strengthen the existing planting screens already along DLP as well as creating a pleasant and attractive amenity for the new residents;

- The introduction of a comprehensive landscape scheme to the front gardens and adjoining the access road and driveways within the development including the introduce of tree lined 'boulevard' to sections of the access road and at its junction with Knowle Lane to create pleasant and attractive amenity for the new residents;
- The exact details of the landscape proposals (mitigation and enhancements) will be submitted at detailed reserved matters stage and agreed with the Local Authority, prior to the implementation of the proposals. It is anticipated that this would include agreeing the initial size and mix of the plants; as well as the workmanship and maintenance / management of the planting to ensure successful establishment and longer-term growth and success of the planting.
- Street tree planting (in accordance with NPPF para 131) would also help to integrate the built form into the wider landscape and would soften its appearance in views from the surrounding area by visually dispersing the roofscape with leafy canopies on sloping land. The church tower would remain as a landmark feature on the skyline above the proposed development.



Existing mature trees within the site will be retained and used as focus for development and open spaces



Public open space provision

As set out in Policy LRC1 of the Waverley Local Plan (Part 1) proposals for new residential development will be expected to make provision for play space having regard to Fields in Trust standards. The table below shows the requirements for the scheme.

Type of POS	Standard per 1000 population	On site provision	Requirement
Informal play space	0.55	Y	0.21
LAPs	0.25	Y	0.10
LEAPs	0.25	Y	0.10
NEAPs	0.25	N	Off site
MUGA	0.3	N	Off site
			0.41

Figure 32 shows the proposed public open space strategy for the site which makes provision for the following which is far in excess of the minimum required standards:

- Natural and semi natural greenspace inc SuDS and structural landscape planting (3.0 ha)
- Informal playspace / equipped play areas (0.7 ha)
- Locally Equipped Area of Play (LEAP)
- Biodiversity improvement areas (3.0 ha)

It should be noted that a single area of play for young children (LEAP) has been provided. This is within 400m of all dwellings within the site and is therefore highly accessible. Should additional LAPs be required these could easily be accommodated in larger areas of Natural and Semi natural greenspace around the edges of the site.



FIGURE 32. Public open space strategy



## Design and character of public open spaces

The open spaces of the site have been designed to ensure amenity and biodiversity can coexist through retaining and enhancing the habitats and mature trees within the site and on its boundaries with amenity grassland for informal recreation in the northern part of the site including the potential for an area of natural play for young children. The strategy includes the following:

- The primary areas of amenity open space would be located in the central parts of the site and adjacent to the proposed built development and public right of way to enhance accessibility. It would provide residents with an informal recreation and community social space that supports health and wellbeing with sensitively designed seating and picnic tables made from naturally sourced, local materials to reflect the village and orchard setting. This area could also be used for informal play / with a kickabout areas of managed grass.
- A Locally Equipped Area of Play (LEAP) would be sited within the area of amenity space. Children would engage with and explore nature through play equipment of predominately natural materials including grassed mounds, sand, sculpted wood and stone. The area of play would also include planting to enable children to experience natural scent, colour and texture.
- Small pockets of open green space with potential for seating within the built development incorporating the existing mature trees and proposed SuDS features will contribute to the character of the development and provide an informal social space for residents close to their home, with planting diversifying the green infrastructure of the site.
- Development has been orientated to overlook areas of public open space. The dwellings would provide natural surveillance thus ensuring proposed open spaces feel safe and welcoming.



*Areas of play within the site will incorporate natural features*



*Wildflower margins would be provided as part of the amenity spaces*

## Well being

The provision of large areas of public open green space will help to support community interaction, physical exercise and mental health well-being. These spaces will be well maintained and will also improve the existing habitats promoting biodiversity improvements. The new pedestrian routes set within an attractive landscaped public realm will provide links between the site and the surrounding area as well as nearby public transport services. This will help to connect old and vulnerable people to each other and to key facilities and services.

The proposed development would be well integrated into the wider area helping to provide benefits both for activity and access to health services and schools. The area is well served by primary health services, including NHS and private hospitals, doctor's surgeries, dental surgeries and pharmacies that would be accessible for new residents at the site. There are also a number of primary and secondary schools with capacity to accommodate the increased demand resulting from the proposed development. There is also an opportunity for the new homes that are designed at the reserved matters stage to incorporate the principles set out in the UK Green Building Council's July 2016 'Health and Wellbeing in Homes'.



*Community social space for health and wellbeing*



## Blue Infrastructure

Working together with the Green Infrastructure Strategy a Sustainable Urban Drainage Strategy (or Blue Infrastructure) strategy has been developed. The strategy will to manage surface water taking into account of water quantity (flooding), water quality (pollution) biodiversity (wildlife and plants) and amenity.

The SuDS strategy will mimic nature and managing rainfall close to where it falls. The strategy has been designed to transport (convey) surface water, slow runoff down (attenuate) before it enters watercourses, providing areas to store water in natural contours and in some parts used to allow water to soak (infiltrate) into the ground or evaporated from surface water and lost or transpired from vegetation (known as evapotranspiration).

A range of other Sustainable Drainage Systems (SuDS) are proposed within the site in addition to the basins, including swales, rain gardens, permeable paving, and rainwater harvesting. These would slow the flow of water, as well as providing treatment to remove potential pollutants and amenity and biodiversity benefits.

The aim of the strategy is to achieve the following:

- Manage runoff volumes and flow rates from hard surfaces, reducing the impact of urbanisation on flooding
- Provide opportunities for using runoff where it falls
- Protect or enhance water quality (reducing pollution from runoff)
- Protect natural flow regimes in watercourses
- Provide an attractive habitat for wildlife in urban watercourses
- Provide opportunities for evapotranspiration from vegetation and surface water
- Encourage natural groundwater/aquifer recharge (where appropriate)
- Open balancing features
- Open ditches / swales



FIGURE 33. Plan showing the drainage strategy for the site. (Abley Lechford Partnership)



## Surface Water

The proposed drainage strategy is shown at Figure 33. and includes a number of sustainable urban drainage systems including:

- Open balancing features
- Permeable surfaces with cellular attenuation
- Roadside swales
- Swales incorporated into the landscaped areas

The images (right) illustrates the type of features which are envisaged.

The surface water drainage strategy proposals are for development runoff to discharge to the watercourses within the site via a series of Sustainable Drainage Systems (SuDS) consisting of permeable paving, swales and detention basins. Discharging surface water runoff via the SuDS devices will afford some improvement in water quality whilst allowing the post development flows to be restricted to the 1 year greenfield runoff rate. All SuDS features will be designed in accordance with best practice (National Policy, EA and CIRIA guidance) and cater for the 1 in 100 year flood event plus 40% to allow for the predicted impacts of climate change over the lifetime of the development. Therefore the development will not increase flood risk to existing development off site for flood events up to an including the 1 in 100 year plus 30% climate change.

## Foul Water

The foul water drainage strategy proposals are for foul water flows from the development to connect, by gravity, into the existing Thames Water network in the adjoining pumping station area under the provisions of the Water Industry Act 1991.



Open balancing features



Permeable surfaces with cellular attenuation



Roadside swales



Swales incorporated into the landscaped areas



## Ecology

### Ecological Enhancements

As part of the development proposals for the site there are a number of ecological enhancements which will benefit the local biodiversity, thereby making a positive contribution towards the broad objectives of national conservation priorities and the local Biodiversity Action Plan (BAP). The recommendations and enhancements below are considered appropriate given the context of the site and the scale and nature of the proposals, and can be refined as detailed proposals are brought forward. Through implementation of the following ecological enhancements, the opportunity exists for the proposals to deliver a number of biodiversity benefits at the site.

#### Habitat Creation

It is recommended that where practicable, new planting within the site be comprised of native species of local provenance, including trees and shrubs appropriate to the local area. Suitable species for inclusion within the planting could include native trees such as Oak, Ash, Birch Betula pendula and Field Maple, whilst native shrub species of particular benefit would likely include fruit and nut bearing species which would provide additional food for wildlife, such as Blackthorn, Hawthorn, Crab Apple Malus sylvestris, Hazel Corylus avellana and Elder. Where non-native species are proposed, these should include species of value to wildlife, such as varieties listed on the RHS' 'Plants for Pollinators' database, providing a nectar source for bees and other pollinating insects.

#### Habitat Enhancement

Where possible, the retained areas of undeveloped land will be subject to enhancement measures, to increase their value to wildlife. The management of these habitats will help to maintain and enhance their diversity in turn increasing their value for wildlife.

#### Wildflower Grassland

Areas of wildflower grassland will be created within the site to be used as public open space. This will make a positive contribution towards the local BAP, which lists 'lowland meadows' as a Priority Habitat.

#### Wetland Features

Attenuation basins will be provided to as part of the Sustainable Urban Drainage System. These will incorporate wetland wildflower grassland and marginal planting to create a variety of habitats. Creation of a wetland habitat such as this will provide opportunities for a range of wildlife, especially foraging bats, while also helping to attenuate surface water run-off and subsequently provide benefits to watercourse WC1.

#### Hedgerows and boundary features

There will be a number of new hedgerows planted within the site and on its boundary which will comprise native species, providing structural diversity and facilitating species movements around the site.

#### Bat Boxes

Bat boxes will be are incorporated within the proposed development. The provision of bat boxes will provide new roosting opportunities for bats in the area, such as Soprano Pipistrelle, a national Priority Species. So as to maximise their potential use, the bat boxes should ideally be situated on suitable retained trees, erected as high up as possible and sited in sheltered wind-free areas that are exposed to the sun for part of the day, facing a south-east, south or south-westerly direction. In addition, where architectural design allows, a number of integrated bat boxes / roost features should be incorporated into a proportion of the new build. The precise number and locations of boxes / roost features should be determined by a competent ecologist, post-planning once the relevant final development design details have been approved.

#### Hedgehog Enhancements

Hedgehog nest domes will be incorporated within green space within the site, away from roads, in suitable locations. Further to this, it is recommended that gaps, approximately 13cm high x 13cm wide are incorporated within the base of boundary fences to allow continued movement by hedgehog throughout the site.

#### Bird Boxes

A number of bird nesting boxes will be incorporated within the proposed development, thereby increasing nesting opportunities for birds at the site. Ideally, the bird boxes will have greater potential for use if sited on suitable, retained trees or integral to new buildings, situated as high up as possible. The precise number and locations of boxes should be determined by a competent ecologist, post-planning once the relevant final development design details have been approved.

#### Habitat Piles

A proportion of any deadwood arising from vegetation clearance works should be retained within the site in a number of wood piles located within areas of new planting in order to provide potential habitat opportunities for reptiles, amphibians and invertebrate species, which in turn could provide a prey source for a range of other wildlife. In addition, the provision and management of new native landscape planting will likely provide additional opportunities for invertebrates at the site in the long term.



Wild flowers will be incorporated into the areas of public open space



Biodiversity Net Gain requirements

Requirements

National policy sets out that planning should provide biodiversity net gains where possible. National Planning Policy Framework (NPPF) Paragraphs 170(d), 174(b) and 175(d) refer to this policy requirement and the Natural Environment Planning Practice Guidance (PPG) provides further explanation on how this should be done. Delivering net gain is also referred to in the National Infrastructure Commission’s Design Principles, National Policy Statements and the National design guide.

The Government’s 25 Year Environment Plan sets out the aspiration to mainstream biodiversity net gain in the planning system and move towards approaches that integrate natural capital benefits.

The Government announced it would mandate net gains for biodiversity in the Environment Bill in the 2019 Spring Statement. This followed a consultation on net gain from December 2018. Defra’s response to the consultation was published in July 2019. An impact assessment on biodiversity net gain and Local Nature Recovery Strategies was published in late 2019.

Mandatory biodiversity net gain as set out in the Environment Bill applies in England only by amending the Town & Country Planning Act (TCPA) and is likely to become law in 2023. The Bill sets out the following key components to mandatory BNG:

- Minimum 10% gain required calculated using Biodiversity Metric & approval of net gain plan
- Habitat secured for at least 30 years via obligations/ conservation covenant
- Habitat can be delivered on-site, off-site or via statutory biodiversity credits
- There will be a national register for net gain delivery sites
- The mitigation hierarchy still applies of avoidance, mitigation and compensation for biodiversity loss
- Will also apply to Nationally Significant Infrastructure Projects (NSIPs)
- Does not apply to marine development
- Does not change existing legal environmental and wildlife protections

Since planning applications have to be determined in accordance with an up-to-date Local Plan, where Local Plans have adopted policies requiring biodiversity gain, effectively, it already has ‘mandatory’ status.

At the time of writing, the local authority does not have a biodiversity gain policy and therefore reliance is simply placed on the NPPF. The NPPF is a ‘material consideration’ in determining planning applications. The NPPF requires planning policies and decisions to provide for and secure measurable biodiversity gain. The NPPF does not, however, set out how much biodiversity gain is sufficient or how it should be measured (i.e. it does not require the use of a metric or a certain percentage of biodiversity gain).

The recent Planning Appeal decision (Brickhill St, South Caldecott) found that unless the use of a metric or a specific gain percentage is stated in Local Plan policy then these are not mandatory requirements. There is also recent relevant case law where Milton Keynes Council refused planning permission, partly due to a development’s failure to achieve a 10% biodiversity gain. The appeal fell down on this point as the Inspector placed greater weight on the adopted Local Plan policy, which did not require a 10% gain, rather than the forthcoming legislation, which although “a material consideration, it is not yet law”.

Provision

A new Biodiversity Metric 3 was launched in July 2021. The Biodiversity Metric is designed to provide ecologists, developers, planners and other interested parties with a means of assessing changes in biodiversity value (losses or gains) brought about by development or changes in land management. The metric is a habitat based approach to determining a proxy biodiversity value.

In line with aspirations of the forthcoming Environment Bill, the latest Defra Metric (3.1) has been used to calculate the resultant change in ‘biodiversity units’ on site as a result of development.

Biodiversity improvement areas (of at least 10% biodiversity net gain) will be provided in the GI area as part of the proposals – extending to a total of 3.0 ha, which represents around 25% of the total land area across the site.

At present, and as set out in the Biodiversity Net Gain Assessment lodged alongside the planning application (in turn based on the illustrative layout), substantially greater net gain (than 10% as required by policy) can be secured, but this cannot be fixed until RM stage. At present the illustrative masterplan finds 79.48% net gain in habitats and 15.06% net gain in hedgerows.



A range of wildflower and species rich planting could be used



Elements such as bat boxes could be provided



Proposals will allow for foraging routes



## Access

The movement and access strategy has been designed to encourage sustainable transport options and provide a permeable layout which supports ease and safety of movement for all users. The layout and design of spaces and buildings takes into account the needs for both vehicular and transport links, and inclusive access.

### Vehicular and transport access

It is proposed to construct a new vehicular access on Knowle Lane at the west of the site. The access road will be 5.5 metres in width with 6 metre kerb radii. A traffic speed survey was undertaken to establish the 85th percentile speed of vehicles travelling on Sturt Road in the vicinity of the proposed access. The survey identified an 85th percentile vehicle speed of 37.9 miles per hour (mph) for vehicles travelling northbound and 41.4 mph southbound. Visibility splays of 2.4 by 60 metres to the south and 2.4 by 69 metres to the south are achievable within the highway, in line with visibility guidance within the Department for Transport's 'Manual for Streets' (MfS, March 2007). Figure 34 illustrates the proposed site access arrangement via this point.

This access has been designed to ensure it can accommodate the largest of vehicles expected to require access to the site, associated with servicing and deliveries. The access arrangement can be accommodated within land comprising public highway and the site.

### Pedestrian and Cyclist Access

The main access for pedestrians and cyclists will be at the north of the site. From here cyclists can continue on the Downs Link towards the village centre and pedestrians are able to use this route or the route of public footpath 378 to access the town centre. Cyclists will also be able to use the vehicular access and enter/exit the site via Knowle Lane.

Within Cranleigh village centre, lighting and footways are provided. There are also two signalised crossing points and two pedestrian refuges to aid pedestrians seeking to cross High Street. A number of key amenities are available in Cranleigh village centre, including two supermarkets, a medical practice, community hospital and schools. The village centre also benefits from other amenities likely to be frequently used by residents such as local shops, public houses, restaurants and takeaways.

### Public Transport

The nearest bus stops to the site are located approximately 650 metres east of the site on Horsham Road. Both stops benefit from a bus stop flag with timetable information. These stops are served by route 63, as well as services to St Peter's School and Godalming College. The 63 service runs between Horsham and Guildford, with journey time approximately 40 minutes to both. Services run hourly in each direction from Monday to Saturday.

There are no rail services within Cranleigh itself, however, if using the 63 bus, rail services can be picked up in both Guildford and Horsham, with regular trains to destinations such as London, Portsmouth, Woking, Gatwick Airport, Peterborough and Southampton.

### Parking

Parking will be provided in accordance with Surrey Council's parking standards at the time of any reserved matter application. A statement of intent regarding car parking is as follows:

- All homes to be provided with allocated car parking spaces (typically at least two);
- Dimensions of parking spaces and garages to be provided in accordance with guidance;
- Parking to be provided within curtilage of individual dwellings and within communal parking areas for apartments; and
- Well-designed on-street visitor parking in dedicated lay-bys will be provided and dispersed throughout the site.
- Visitor car parking will be provided in dedicated bays distributed evenly around the site at a ratio of circa 1 visitor space per 5 dwellings

Cycle parking for the proposed houses will be provided in garages and in sheds in back gardens and in covered and secured communal areas for apartments.

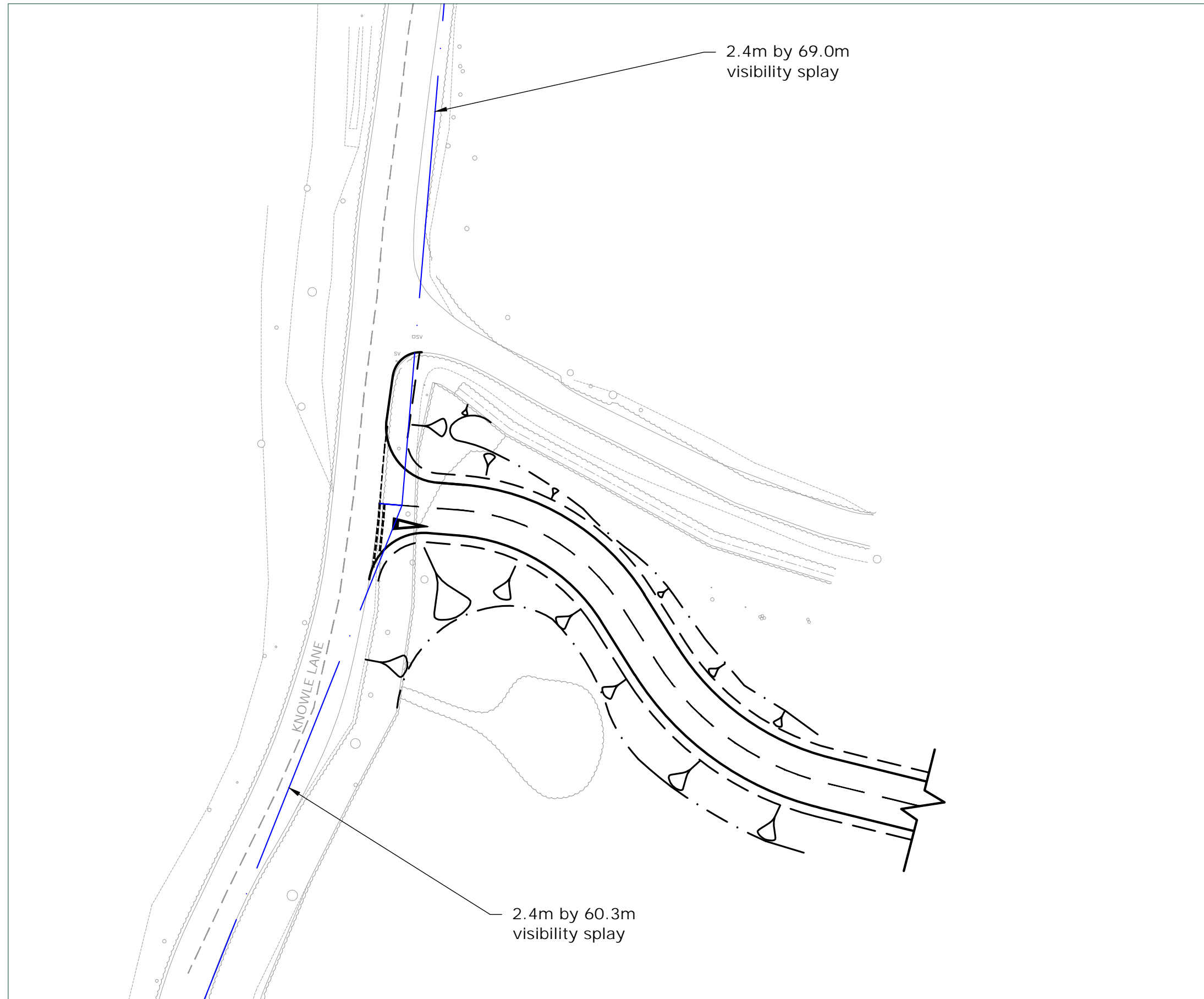
### Refuse collection

The illustrative site layout has been designed to accommodate refuse vehicles. Street widths will provide for refuse collection vehicles and are sufficiently wide that cars parked on-street can be passed by the refuse vehicle. Swept path analysis has been undertaken for the site access and the site layout to ensure a refuse vehicle and emergency vehicles will be able to manoeuvre safely within the site and leave in forward gear.

### Inclusive access

The layout of spaces and buildings ensures that disabled people will not be segregated and will be able to access all aspects of the place with without inconvenience or detours. The design of buildings will take this into account at either reserved matters or in future detailed applications.





**FIGURE 34.** Plan showing the main access to the site from Knowle Lane (Motion)



Sustainability

The applicants are committed to ensuring the proposed development meets national requirements for energy efficiency prevailing at the construction stage.

Overall, and whilst further detailed calculations and design work will continue as the development progresses, the proposals for the site aim to maximise the site's assets and layout in relation to sustainable design, creating an attractive, environmentally sound, development.

Some of the sustainable design concepts are shown at Figure 35. and the overall sustainability strategy is described in more detail below.

The Energy Hierarchy

The Energy Hierarchy underpins the entire approach to building performance for this development, thus prioritising a reduction in the demand for energy as far as possible through thermally efficient, easily controlled, well designed and oriented buildings.

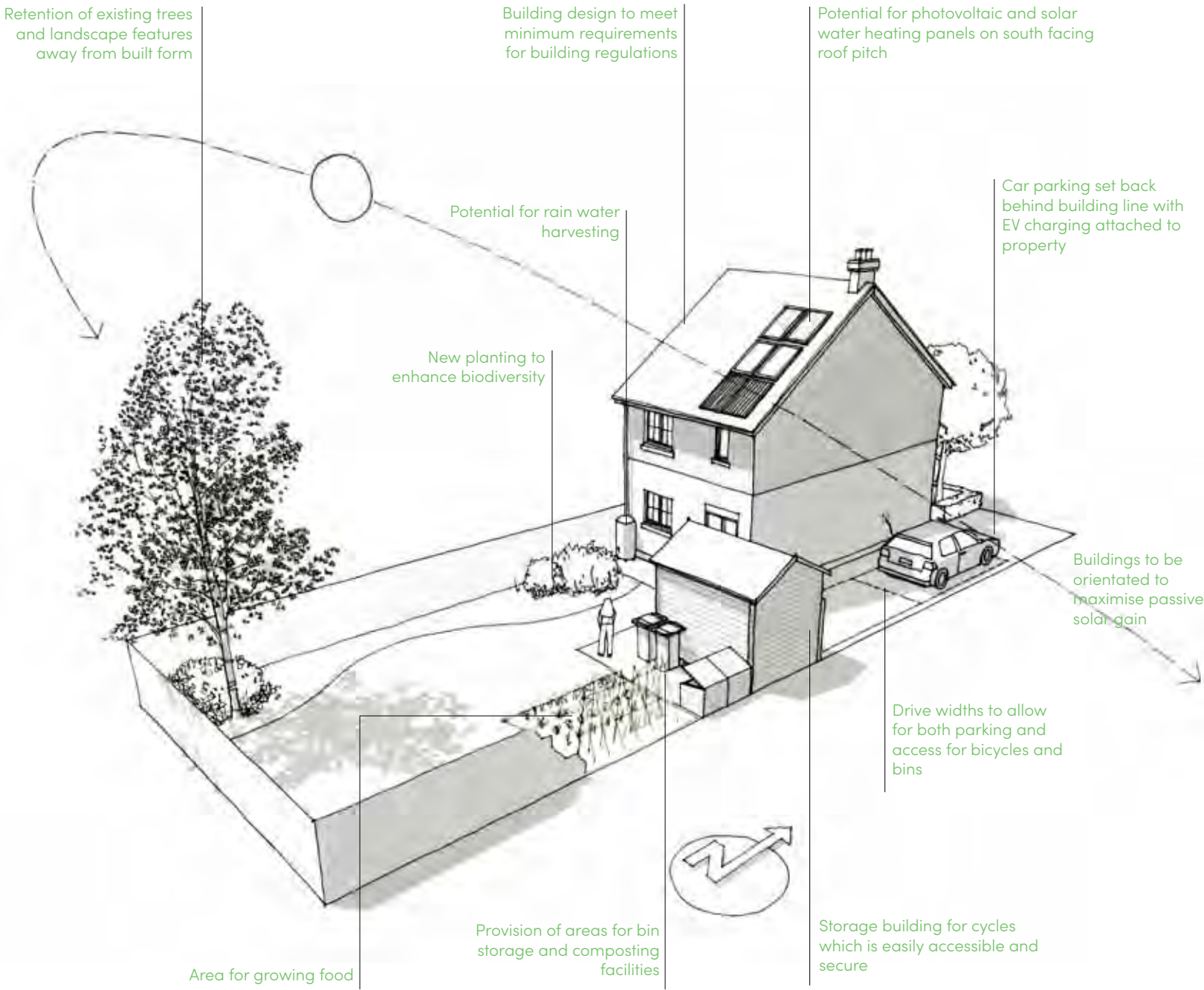
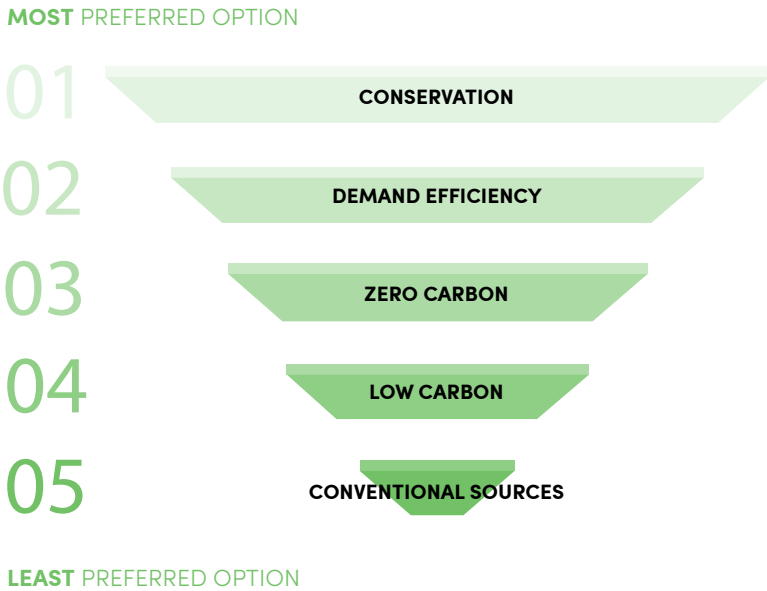


FIGURE 35. Plan showing Sustainable Design concepts





*The development has been designed to allow for new technology such as electric vehicle charging*

## Energy Efficient Domestic Building Envelope

The buildings will need to be energy efficient structurally. To facilitate this, not only will the individual elements (wall, roof, and floor) be thermally efficient, but the construction will need to ensure that thermal bridges are minimised through the application of design details and products that provide continuous insulation, and by ensuring air tightness.

As this is an outline application, it is not appropriate to complete detailed Building Regulations calculations to accurately identify the thermal specifications for the property types, nor provide exact data in relation to performance.

It is expected that any subsequent detailed design will exceed the minimum performance standards of the current Building Regulations.

Air tightness of a building is important in reducing heat loss, and in the prevention of draughts. This will help reduce the size of the required heating system thus reducing energy use and carbon emissions. Other benefits include the reduction in the risk of interstitial condensation, improving the building's lifespan and reducing sound transmission through the structure.

The drive for air tightness will need to be matched by correctly designed ventilation. This is vital for healthy, comfortable buildings as it removes or dilutes pollutants that can accumulate in a closed space. Excessive moisture in particular can be a significant problem.

It is the intention that this development will benefit from natural ventilation through cross ventilation and openable windows. This will enable rapid purges of air and good levels of internal air quality. There may also be the need to implement a high efficiency continuous mechanical extract system to ensure that ventilation does not become an issue, with particular focus on mechanical extract ventilation from bathrooms and kitchens.

## Lighting, Fixtures and Fittings

Further energy savings will be made by maximising the efficiency of appliances, lighting, fixtures and fittings. All electric lighting will be energy efficient, and any spot lighting (for example within kitchens and bathrooms) will be provided using dedicated LED fittings.

All appliances where installed will be high efficiency, further minimising the use of both electricity and hot water. Moreover, where these are not installed, they will be provided to incoming residents within the list of optional extras. Taps and shower fixtures and fittings that reduce hot water consumption with low and/or aerated flows will be specified.

In addition to the internal lighting, all street lighting and other street furniture will use LED technologies to further minimise lifetime energy use and associated emissions.

## Site Layout - Orientation, Passive Solar Design and Daylighting

The orientation of properties – along with the size and location of the properties' glazing and the extent of overshadowing – plays an important part in energy performance. Improving a building's orientation, so that the main living spaces can benefit from the heat and light of the Sun, can reduce the requirement to use fuels to perform the same function. This reduces costs, energy use and associated carbon emissions.

The proposed site layout has been developed with respect to identified topological and visual constraints. Within these parameters, many of the properties benefit from a southerly orientation which also enhances the opportunities in relation to the use of solar technologies.

They will also benefit from the sun during the middle portion of the day without suffering from potential overheating later in the afternoon. This also helps to ensure that during the winter, when the Sun's path is shortened, the building still benefit as much as possible from winter sunlight.

Furthermore, the low density of the development ensures appropriate spaces around dwellings, reducing the risk of overshadowing.



Domestic Energy Supply Options

A district heating solution is not considered viable for this site for a number of reasons, including the disproportionately high infrastructure costs for a low density development and the relatively low heat demand from a small number of high efficiency dwellings.

The Applicant envisages the use of air source heat pumps (ASHPs) for space and water heating in all properties on this development. This option aligns closely with the nationwide approach to the low carbon energy transition and the country’s climate change targets: the rapid expansion in renewable and low carbon energy supply within the grid in recent years means that even direct electric heating now emits less carbon per kWh than natural gas.

By installing the heat pumps – a recognised low carbon technology – the Applicant will minimise carbon emissions across new development by taking account of all levels of the energy hierarchy. The heat pump solution delivers against these requirements and also futureproofs the dwellings, enabling them to benefit from Grid decarbonisation over time, effectively resulting in fewer emissions year on year. At this stage therefore there are no plans to install further renewable energy generation technologies on site.

As the planning and development process progresses, and as the wider regulatory environment in respect of energy and carbon performance develops, the approach proposed will be kept under review to take account of new or alternative solutions that may deliver an equivalent performance standard. The final design solution and associated detail can be provided at the Reserved Matters stage.

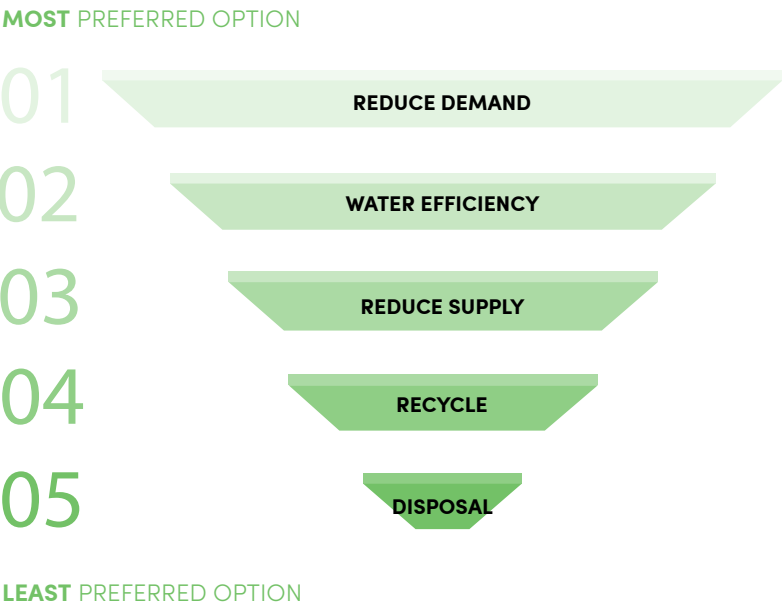
Finally, a further option that could be explored is the installation of waste water heat recovery (WWHR) units in dwelling types that can accommodate them. WWHR enables heat to be recovered from the waste water produced in bathrooms (i.e. via baths or showers). The heat recovered is used to pre-warm water to the heating system, and thus reduce the amount of fuel needed to provide hot water for use within the property. The impact is a further reduction in energy use and emissions.

Water use

The Applicant is committed to reducing the impact of this development on water resources in the area.

The domestic sector consumes a vast amount of potable water in non-potable situations, including flushing the toilet, washing the car and irrigating our gardens. Only a small proportion of potable mains water is used for drinking, cooking and personal washing.

The national average for water consumption is around 141l per person per day, while the Local Plan Part 1 requires a target of 110l per person per day for this location. To achieve this enhanced target, the management of water in the proposed development will follow the principles of the water hierarchy as shown below.



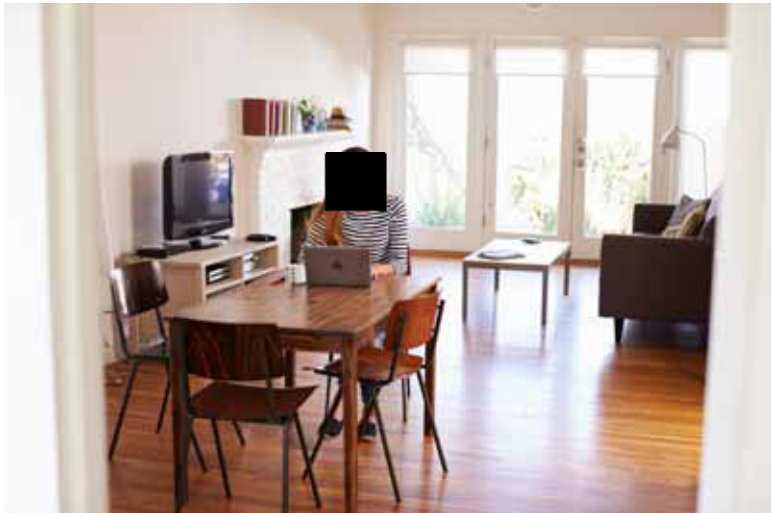
Domestic Water Reduction Measures

In seeking to achieve the advanced target of 110 litres per person per day, the Applicant will employ a combination of water efficient fixtures, appliances and fittings, with the addition of further water saving solutions such as rain water recycling (water butts).

The combination of systems to be employed at this site and their exact specifications will be fixed at the Reserved Matters stage.







Flexible internal spaces and provision of high speed broadband will allow for home working

Provision of Fibre-to-the-Premises

The availability of Fibre-to-the-Premises (FTTP) ensures that people remain connected and can access and participate in a range of services effectively. Moreover, it also facilitates greater home working which can help minimise the impact from personal transport.

The dwellings will be provided with FTTP to enable access to broadband should residents wish to connect, and this will be explored further as the development process progresses. Discussions with Openreach to provide this infrastructure are in progress.

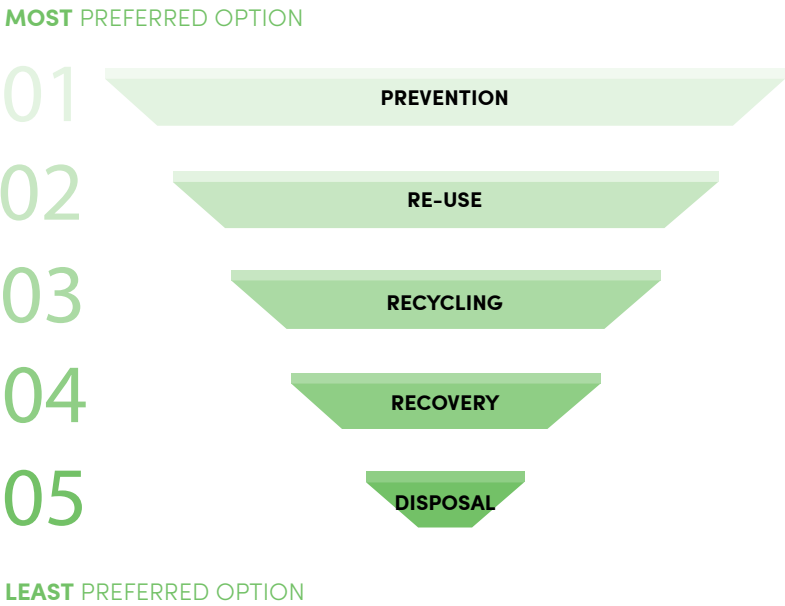
Flexible space

It is important for future homes to be designed with multiple uses in mind, such as carving out dedicated workspaces or gyms, or creating rooms that are reconfigurable depending on the time of day. This will in turn reduce the need to travel.

The design of housing at the detailed design stage will need to take this into account and provide solutions which meet the changing needs of society and provide for more sustainable patterns of working and leisure.

Materials and Waste Management

Waste generation, storage, treatment and disposal before during and after construction on this site will be managed in accordance with the Waste Hierarchy as shown below.



Sustainable Building Materials

It is too early in the process to carry out a supply chain analysis for the construction phase, however we can establish the principles behind the sourcing of materials. Materials will be sourced using suppliers that have environmentally focused accreditations and management systems such as ISO:14001, and all timber will be 100% FSC accredited.

The approach to materials is to use local suppliers where viable – using a palette of materials that is both appropriate and in keeping with the local architectural vernacular. As such the form of construction will not require the use of unusual materials, those with significant environmental impact or those that require significant off-site processing and development before use on site.

Construction Waste

The Applicant recognises that waste needs to be sustainably managed and requires all contractors to adhere to strict management processes for waste on site. A Waste Management Plan will be developed to facilitate this and will:

- Identify waste streams, plan for their management and set targets for waste reduction;
- Identify a lead person responsible for the Waste Management Plan delivery and provide site induction and training to all staff;
- Identify suitable locations for the efficient separation and storage of waste prior to removal from site to encourage higher levels of recycling;
- Identify opportunities for the on-site reuse of materials and scaffolding, hoarding and other such materials to be removed from site for use on subsequent construction projects.

In addition to the above, it will be a contractual requirement that any contractor operating on the site commits to the Considerate Constructors Scheme and aims to achieve best practice under assessment. This will help further minimise the impact on the surrounding area and neighbours to the site.

Where earth moving activity is needed, all excavated materials will be retained on site and any necessary storage will follow best practice guidelines so that none is lost to the weather and/or erosion.





## Secured By Design

Secured by Design (SBD) is the official police security initiative that works to improve the security of buildings and their immediate surroundings to provide safe places to live, work, shop and visit.

The proposals have been designed to be as safe and crime free as possible and in particular has had regard to the guidance as set out in the Secured By Design Homes (2019).

### Principles of ‘Secured by Design’.

The key principles of Secured By Design are listed below, with an explanation of how the development addresses the points:

#### Layout of streets and footpaths

Vehicular and pedestrian routes are designed to ensure that they are visually open, direct, well used and should not undermine the defensible space of neighbourhoods.

Where it is desirable to limit access/use to residents and their legitimate visitors, features such as rumble strips, change of road surface (by colour or texture), pillars, brick piers or narrowing of the carriageway are used. This helps to define the defensible space, psychologically giving the impression that the area beyond is private.

The layout provides a legible and permeable series of connected routes. These are overlooked and buildings are arranged to either front onto or have side aspect (with habitable rooms and windows) to these routes. Ground floor entrances are positioned for ease of access and will be clearly articulated in detail.

A perimeter block structure is proposed for the development that enables all dwellings to face out and overlook the streets and spaces. Private and public domains are well defined by boundary treatments and clear definition of spaces

#### Layout and orientation of dwellings

Dwellings are generally positioned within the layout facing each other to allow neighbours to easily view their surroundings and thus making the potential offender feel vulnerable to detection.

Configuration of dwellings and public realm has been designed to avoid confined and secluded spaces. Streets and spaces are open and have clear sight lines allowing easy monitoring and natural surveillance. All public open spaces are overlooked by development.

#### Communal areas and play space

Communal areas, such as playgrounds, toddler play areas, seating facilities have the potential to generate crime, the fear of crime and anti-social behaviour.

The areas of play have been designed to allow natural surveillance from nearby dwellings with safe and accessible routes for users to come and go.

Boundaries between public and private space are clearly defined and open spaces must have features which prevent unauthorised vehicular access. Communal spaces as described above do not immediately abut residential buildings.

#### Dwelling Boundaries

It is important that the boundary between public and private areas is clearly indicated. The layout indicates dwelling frontages to be open to view, so walls, fences and hedges will need to be kept low or alternatively feature a combination of wall (maximum height 1 metre) and railings or timber picket fence if a more substantial front boundary is required.

It is envisaged that front garden planting of feature shrubs and suitable trees (e.g. open branched or light foliage or columnar fastigate habit, etc.) will also be acceptable provided they are set back from paths and placed to avoid obstructing visibility of doors, windows and access gates to the rear of the property. Similarly, planting which allows a clear line of sight to the pavement and road is preferable.



*Example of housing with windows overlooking the street and low boundary planting and appropriate street lighting*

#### Gable end walls

It is important to avoid the creation of windowless elevations and blank walls immediately adjacent to public spaces; this type of elevation, commonly at the end of a terrace, tends to attract graffiti, inappropriate loitering and ball games.

The provision of at least one window above ground floor level, where possible, will offer additional surveillance over the public area.

The illustrative layout shows dwellings on corners of residential streets and green lanes, or with a side elevation facing open spaces, will have windows and other elevation features to ensure there are not any blank facades facing onto the public realm.

#### Rear access footpaths

It is preferable that footpaths are not placed to the back of properties. If they are essential to give access to the rear of properties they must be gated. The layout indicates gates placed at the entrance to the footpath, as near to the front building line as possible, so that attempts to climb them will be in full view of the street.





**FIGURE 36.** Plan showing how the principles of Secured by Design have been applied to the layout

At the detailed design stage it is envisaged that the street lighting scheme will be designed to ensure that the gates are well illuminated. Gates will be capable of being locked (operable by key from both sides of the gate). The gates must not be easy to climb or remove from their hinges and serve the minimum number of homes, usually four or less.

### Vehicle parking

The layout shows vehicles either be parked in locked garages or on a hard standing within the dwelling boundary.

Where communal parking areas are shown, bays are sited in small groups, close and adjacent to homes, be within view of active rooms, and will be allocated to individual properties.

### Planting in new developments

The planting of trees and shrubs in new developments will help create an attractive residential environments. The planting design will however need to take full account of all other opportunities for crime.

### Street lighting

All street lighting for adopted highways and footpaths, private estate roads and footpaths and car parks must comply with BS 5489-1:2013. Where conflict with other statutory provisions occurs, such as developments within conservation areas, requirements should be discussed with the local authority lighting designers and highway engineers.

- Perimeter block structure
- Active frontages overlooking streets and spaces
- Key pedestrian routes overlooked
- Open spaces overlooked
- Children's Play Area overlooked





## Building for a Healthy Life

Building for a Healthy Life is the latest edition of – and new name for – Building for Life 12. Building for a Healthy Life (BHL) updates England's most widely known and most widely

used design tool for creating places that are better for people and nature. The original 12 point structure and underlying principles within Building for Life 12 are at the heart of BHL.

Building for a Healthy Life's 12 considerations capture the areas of design and placemaking that need most attention but are often the most overlooked.

This section of the DAS highlights the positive design solutions which have been adopted in the scheme and how they accord with the 12 considerations of the BHL document.

## Integrated Neighbourhoods

### 1. Natural connections

The layout has been designed to connect to the existing urban area via the new proposed vehicular access to Knowle Lane, a key route which leads to the strategic highway network and to the centre of Cranleigh Village.

The layout also includes the following elements:

- ✓ Edge to edge connectivity
- ✓ A positive response to pedestrian and cyclist desire lines
- ✓ Connected street patterns
- ✓ Continuous streets (with public access) along the edges of a development
- ✓ Connecting existing and new habitats
- ✓ Where retained, keeping hedgerows within the public realm, safeguarding their future retention and management.
- ✓ Streets and routes that can be extended in the future

### 2. Walking, cycling and public transport

Pedestrian and cycle links are proposed to the east of the site to connect to the Downs Link and existing public rights of way in the local area. These provide good access to public transport from the centre of the village.

The design and layout of routes within the site seeks to achieve the following:

- ✓ share street space fairly between pedestrians, cyclists and motor vehicles
- ✓ provide cycle friendly streets with pedestrian and cycle priority (and protection) with across junctions and side streets
- ✓ establish 20mph design speeds, designations and traffic calming



*The site is located very close to the village centre with good pedestrian and cycle links*



*The site has good access to existing pedestrian and cycle links to the village centre and surrounding area*



### 3. Facilities and services

The scheme is well located to existing local facilities and services in Cranleigh as shown at Figure 08. It is also close to existing public transport routes which allow for access to a wide range of destinations which benefit from higher order services.

There are also a number of focal places within the site which could be used as meeting places or places for interaction including the new children's play area and amenity space.

The illustrative masterplan also seeks to achieve the following:

- ✓ Provide active frontages
- ✓ Giving places where routes meet a human scale and create public places
- ✓ Provision of benches to help those with mobility difficulties to walk more easily between places

### 4. Homes for everyone

The scheme includes a good mix of dwelling types and tenures including up to 30% affordable homes. The mix includes a small number of apartments, starter homes and larger family homes.

The scheme has been designed to provide a tenure blind approach so that it is not easy to differentiate between homes that are private and those that are rented or in shared ownership.

Whilst the planning application is only in outline form the illustrative masterplan seeks to achieve the following:

- ✓ Provision of homes and streets where it is difficult to determine the tenure of properties through architectural, landscape or other differences.
- ✓ A range of housing typologies supported by local housing needs and policies to help create a broad-based community.
- ✓ Homes with the flexibility to meet changing needs.
- ✓ Affordable homes that are distributed across a development.
- ✓ Access to some outdoor space suitable for drying clothes for apartments and maisonettes.



*The masterplan seeks to retain and use existing trees and landscape features within the site as a focus*



*The masterplan incorporates the use of Sustainable Urban Drainage*

## Distinctive Places

### 5. Making the most of what's there

The scheme has been designed to respond to the character of the site including the following key elements:

- ✓ Using existing assets as anchor features, such as mature trees and other existing features
- ✓ Sensitive transitions between existing and new development so that building heights, typologies and tenures sit comfortably next to each other
- ✓ Use of sustainable drainage systems
- ✓ Protecting and enhancing existing habitats; creating new habitats
- ✓ Interlocking back gardens between existing and new development (where existing back gardens adjoin a site boundary)
- ✓ A large number of the buildings within the layout have been orientated to optimise the solar potential of the site by their orientation to south.

### 6. A memorable character

The scheme has been designed to reflect the character of the local and wider area. Details of the approach are set out in section 2,4 and 5 of this document.

Further reinforcement of the character can be achieved at the reserved matters stage through the design of individual buildings although it is envisaged that any future detailed scheme will include the following:

- ✓ Drawing inspiration from local architectural and/or landscape character
- ✓ Reflecting character in either a traditional or contemporary style
- ✓ Creating memorable spaces and building groupings



## 7. Well defined streets and spaces

The scheme has been designed to provide well defined streets and spaces using the following key elements:

- ✓ Streets with active frontages
- ✓ Well defined streets and spaces, using buildings, landscaping and/or water to enclose and define spaces
- ✓ Cohesive building compositions and building lines
- ✓ Front doors that face streets and public spaces
- ✓ Apartments that offer frequent front doors to the street
- ✓ Dual aspect homes on street corners with windows serving habitable rooms
- ✓ Perimeter blocks
- ✓ Well resolved internal vistas

## 8. Easy to find your way around

The layout has been designed to allow people to create a mental map of the place by incorporating features that people will notice and remember.

The layout uses the following key elements to create legibility within the scheme:

- ✓ A logical pattern of development using a hierarchy of streets and spaces which are permeable and allow people to find and navigate their way around easily.
- ✓ Landmark buildings and views through the site make it easy for people to see in advance where they are going.
- ✓ Framing views of features on or beyond a site
- ✓ Simple street patterns based on formal or more relaxed grid patterns



**FIGURE 37.** Illustration showing how buildings will turn corners



## Streets for all

### 9. Healthy streets

The layout of streets has been designed to reduce traffic speeds. There are no long stretches of wide road and the Green Drives and courtyards will be shared surfaces. These are usually demarcated by a change of surface treatment which brings the attention of drivers to a change of environment and the need to slow down. This design approach thus gives priority to people over cars. The shared surfaces also provide social spaces and together with the informal public open spaces in this area can be used for safe children's play. Some of the key elements are as follows:

- ✓ 20mph (or lower) design speeds
- ✓ Tree lined streets
- ✓ Pavements and cycleways that continue across side streets

### 10. Cycle and car parking

Car parking is a reserved matter and will be provided to meet the required standards of the highway authority. The key elements of the parking strategy are as follows:

- ✓ At least storage for one cycle where it is as easy to access as the car
- ✓ Landscaping to help settle parked cars into the street
- ✓ Frontage parking where the space equivalent to a parking space is given over to green relief every four bays or so.
- ✓ A range of parking solutions.
- ✓ Small and overlooked parking courtyards, with properties within courtyard spaces with ground floor habitable rooms.

### 11. Green and blue infrastructure

The proposed development seeks to deliver an integrated approach to green and blue infrastructure with the following elements:

- ✓ Biodiversity net gain through features such as species rich grasslands
- ✓ Movement and feeding corridors for wildlife, such as hedgehog highways
- ✓ Bird boxes, swift nesting bricks and bat bricks may be appropriate
- ✓ Plans that identify the character of new spaces, such as 'parks', 'woodland', 'allotments', 'wildflower meadows' rather than 'P.O.S.'
- ✓ Capturing and managing water creatively and close to where it falls using features such as rain gardens and permeable surfaces
- ✓ Allow people to connect with water
- ✓ Create a habitat network providing residents with opportunities to interact with nature on a day to day basis
- ✓ Provide natural surveillance opportunities
- ✓ A connected and accessible network of public open spaces with paths and other routes into and through

### 12. Back of pavement, front of home

The illustrative masterplan shows clear definition of public and private spaces and includes the following:

- ✓ Defensible space and strong boundary treatments
- ✓ Boundary treatments that add ecological value and/or reinforce distinctive local characteristics
- ✓ If relying on rear garden storage solutions for terraces and townhouses, provide direct access to these from the street
- ✓ Front garden spaces that create opportunities for social interaction. Ground floor apartments with their own front doors and semi-private amenity spaces help to enliven the street whilst also reducing the amount of people using communal areas
- ✓ No left over spaces with no clear public or private function



Ecological features such as logpiles can be included within the site to enhance biodiversity



Streets will incorporate tree planting







# 07 SUMMARY AND CONCLUSIONS

In conclusion this design and access statement describes the Outline application by Gleeson Land Ltd for up to 3 phases of residential development of up to 162 dwellings (including 30% affordable dwellings) including the creation of new vehicular access, pedestrian and cycle accesses, parking spaces, public open space, biodiversity enhancement, landscape planting, surface water attenuation, associated infrastructure and other associated works

In terms of the proposed land use, the site lies adjacent to the existing built up area of the village with existing development to the north, east and west. It is well located on a main route into the village centre, to existing facilities and services, and will deliver a logical and sustainable extension to the built up area.

It has been shown that the layout responds to the constraints and opportunities for the site. This response has been delivered with a strong vision and will reinforce the character of Cranleigh and the wider area.

The proposed amount, layout and mix of housing will deliver both market and affordable market housing, for which there is a known demand in the village and which will make a worthwhile contribution toward the ever growing social housing requirement of this area and the district. A mix of house types and sizes is proposed to provide for starter homes and families.

The process of evaluation as set out in Section 04 of this document, together with the illustrative masterplan, plans and drawings in Section 06, demonstrate how the layout and form of development will meet the planning and urban design aspirations of the Council with a strong vision which will maintain and continue the character of Cranleigh and the wider area with limited harm on landscape and visual receptors.

The design ideas within the document show a commitment to quality design in both built form and landscape which will be followed through the planning and development process in subsequent planning and reserved matters applications.

The design process has included consultation with a range of key stakeholders including the Local Planning Authority, Parish Council and local community and their ideas and feedback have helped shape the proposed development.

In conclusion, the delivery of this site for residential development presents the opportunity to make an efficient use of the land in this edge of settlement location.

The proposed residential development is supported by the objectives of national planning policy, and due weight should also be given when determining this application to the Council's deficiency in available and deliverable housing land, to which the approval of this application could assist in the prompt delivery of much needed market and affordable housing.